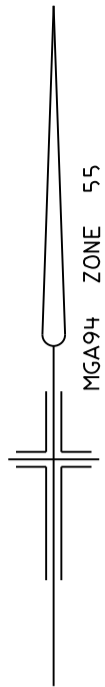


<b>PLAN OF SUBDIVISION</b>		<b>LRS USE ONLY EDITION</b>	<b>PLAN NUMBER PS 817615G</b>	
<b>LOCATION OF LAND</b> <b>PARISH:</b> PAKENHAM  <b>TOWNSHIP:</b> ----- <b>SECTION:</b> ----- <b>CROWN ALLOTMENT:</b> ----- <b>CROWN PORTION:</b> 22 (PART) & 23 (PART)  <b>TITLE REFERENCES:</b> VOL FOL  <b>LAST PLAN REFERENCE:</b> LOT A ON PS817614J  <b>POSTAL ADDRESS:</b> OFFICER SOUTH ROAD (at time of subdivision) OFFICER 3809  <b>MGA 94 CO-ORDINATES:</b> E: 359 130 ZONE: 55 (of approx. centre of plan) N: 5 785 060 DATUM: GDA94		<b>COUNCIL NAME:</b> CARDINIA SHIRE COUNCIL		
<b>VESTING OF ROADS OR RESERVES</b>		<b>NOTATIONS</b>		
<b>IDENTIFIER</b>	<b>COUNCIL/BODY/PERSON</b>	TANGENT POINTS ARE SHOWN THUS: LOTS 1 TO 2800 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN  <b>TOTAL ROAD R1 AREA: 7561m<sup>2</sup></b> <b>TOTAL ROAD R2 AREA: 3673m<sup>2</sup></b>		
ROAD R1 ROAD R2	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL			
<b>NOTATIONS</b>		<b>FURTHER PURPOSE OF PLAN:</b> TO REMOVE THE EASEMENTS SHOWN AS (E-1), (E-2) AND (E-3) ON PS817614J WHICH LIES WITHIN THE LAND IN THIS PLAN SHOWN AS ROAD R2  <b>GROUNDS FOR REMOVAL:</b> BY AGREEMENT, SECTION 6(1)(K)(iii) SUBDIVISION ACT 1988		
DEPTH LIMITATION DOES NOT APPLY				
<b>SURVEY:</b> THIS PLAN IS BASED ON SURVEY.  THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No. PAKENHAM PM 102.  IN PROCLAIMED SURVEY AREA No. 71 <b>STAGING</b> THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. T170671				
<b>ESTATE:</b> ARCADIA 28		<b>AREA:</b> 2.642 ha	<b>No. OF LOTS:</b> 38	<b>MELWAY:</b> 214:E:6
<b>EASEMENT INFORMATION</b>				
<b>LEGEND:</b> A - APPURTENANT    E - ENCUMBERING EASEMENT    R - ENCUMBERING EASEMENT (ROAD)				
<b>EASEMENT REFERENCE</b>	<b>PURPOSE</b>	<b>WIDTH (METRES)</b>	<b>ORIGIN</b>	<b>LAND BENEFITED OR IN FAVOUR OF</b>
(E-1)	SEWERAGE	SEE PLAN	THIS PLAN	SOUTH EAST WATER CORPORATION
(E-2)	DRAINAGE	SEE PLAN	THIS PLAN	CARDINIA SHIRE COUNCIL
(E-2)	SEWERAGE	SEE PLAN	THIS PLAN	SOUTH EAST WATER CORPORATION
<b>Breese Pitt Dixon Pty Ltd</b> 1/19 Cato Street Hawthorn East Vic 3123 Ph: 8823 2300 Fax: 8823 2310 www.bpd.com.au info@bpd.com.au		REF: 9038/28	VERSION: 3	ORIGINAL SHEET SIZE A3
CHECKED TT		LICENSED SURVEYOR: SIMON COX		
DATE: 22/10/20		SHEET 1 OF 5 SHEETS		

PLAN OF SUBDIVISION

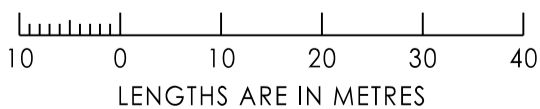
PLAN NUMBER  
PS 817615G



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SCALE

1:750



ORIGINAL SHEET SIZE A3  
REF: 9038/28

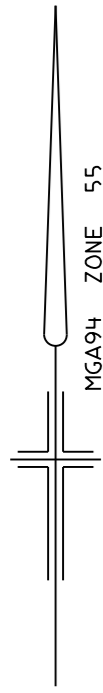
SHEET 2

VERSION: 3

LICENSED SURVEYOR: SIMON COX

PLAN OF SUBDIVISION

PLAN NUMBER  
PS 817615G



STEPHENS ROAD

ROAD

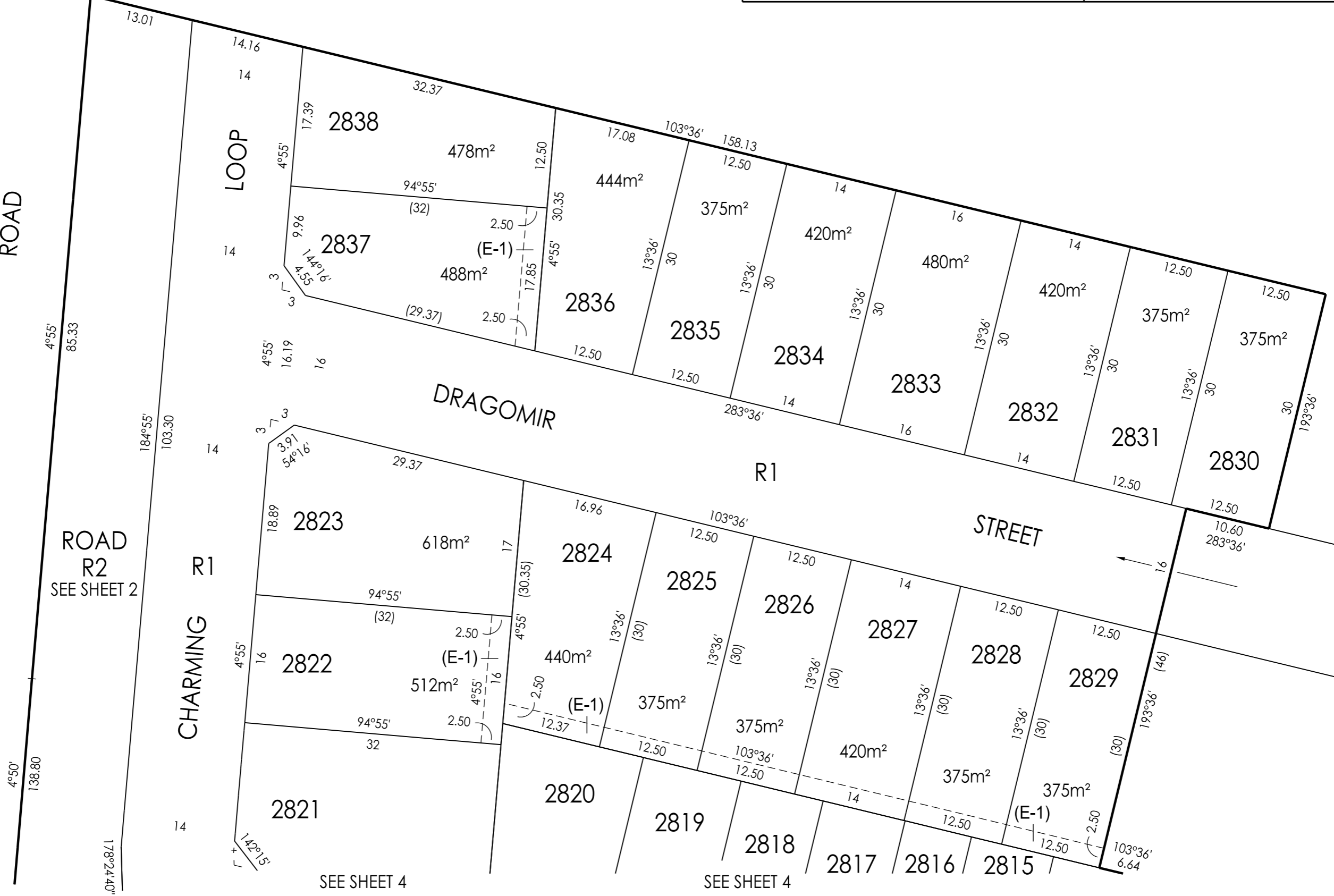
ROAD R2  
SEE SHEET 2

CHARMING R1

DRAGOMIR R1

R1

STREET



SEE SHEET 4

SEE SHEET 4



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SCALE

1:500



REF: 9038/28

VERSION: 3

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ORIGINAL SHEET SIZE A3

SHEET 3

PLAN OF SUBDIVISION

PLAN NUMBER  
PS 817615G

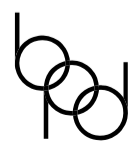
SEE SHEET 3

SEE SHEET 3



ROAD R2  
SEE SHEET 2

MGA94 ZONE 55



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SCALE

1:500



ORIGINAL SHEET SIZE A3

SHEET 4

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SUBDIVISION ACT 1988  
CREATION OF RESTRICTION

Upon registration of the plan, the following restriction is to be created.  
For the purposes of this restriction:

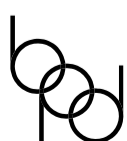
Land to benefit: Lots 2801 to 2838 (both inclusive).

Land to be burdened: Lots 2801 to 2838 (both inclusive).

Description of Restriction :

- (1) The registered proprietor or proprietors for the time being of any lot forming part of the Land to be burdened must not, without the permission of the Responsible Authority, construct or permit to be constructed;
- (a) Any fence within 9 metres of the intersection of two street alignments unless the said fence is either less than 1 metre in height or the report and consent of the Municipal Building Surveyor has been obtained.
  - (b) In the case of lots less than 300m<sup>2</sup>, any dwelling unless in accordance with the Officer Small Lot Housing Code or unless alternative planning approval for the said dwelling has been obtained from Cardinia Shire Council.
  - (c) Any dwelling other than in accordance with MCP No. AA6467

These restrictions will cease to affect any of the burdened lots one year after all the burdened lots are issued with an Occupancy Certificate under the Building Act 1993 or any instrument replacing it.



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SCALE

ORIGINAL  
SHEET SIZE A3

SHEET 5

REF: 9038/28

VERSION: 3

LICENSED SURVEYOR: SIMON COX