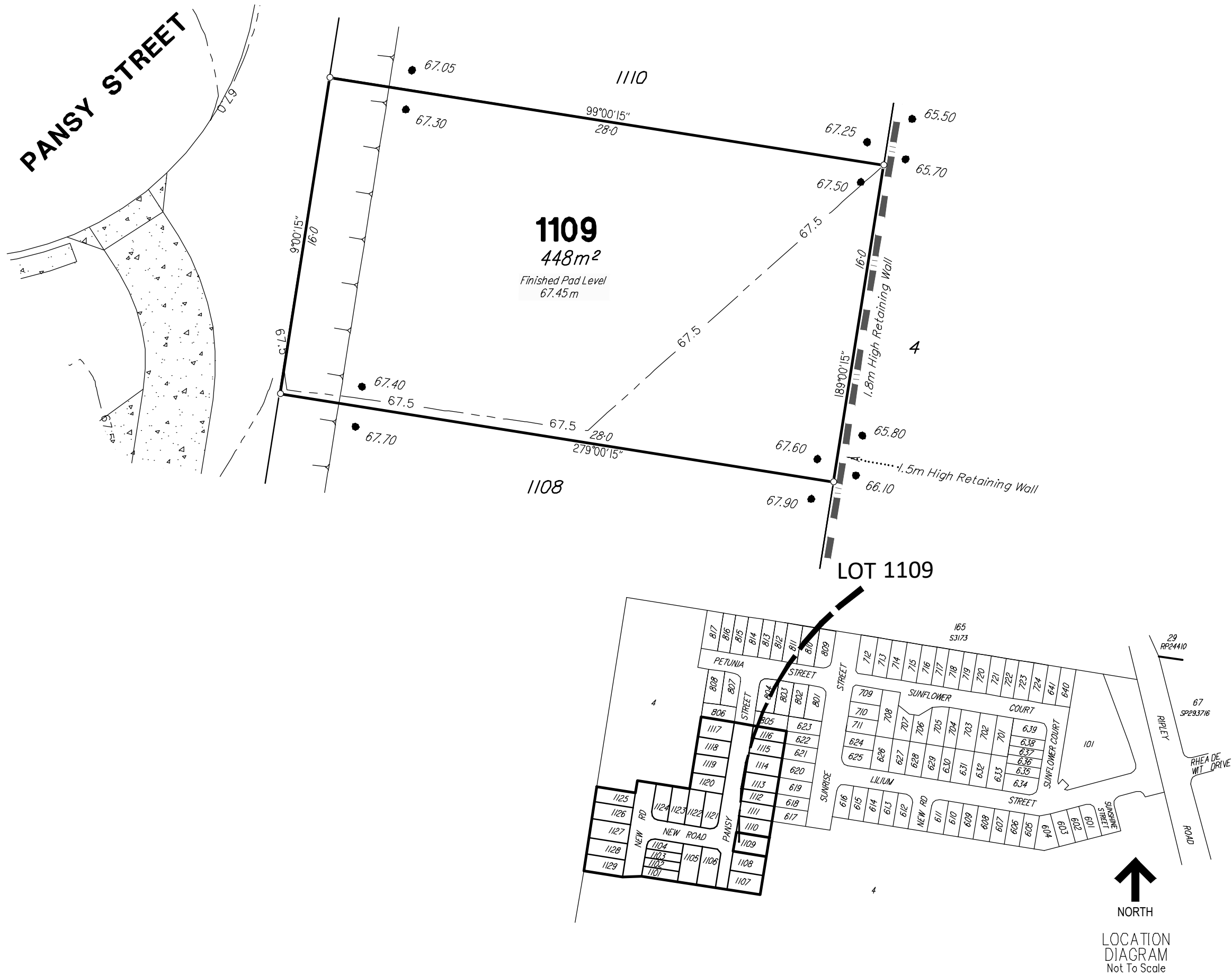


PANSY STREET



IMPORTANT NOTES

(1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).

(2) This plan shows details of Proposed Allotment 1109 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.

(3) All dimensions and areas are subject to final registration of the survey plan.

(4) There is no fill placed on this lot as part of these works.

(5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.

(6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.

(7) Engineering design received from PEAK URBAN on the 26th February 2021.

(8) Proposed Lot Layout taken from ROL plan B3742P_DA7 D1 E dated 21st April 2021.

(9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.

(10) This plan may not be reproduced unless these notes are included.

CONTOUR INTERVAL: 0.5m

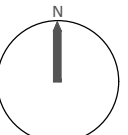
LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER



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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:



SCALE:
SCALE: @ A3 1:200
0 2 4 6 8 10 12 14 metres
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:	
A	ORIGINAL ISSUE
27-04-21	DWW
ISSUE:	DETAILS:
DATE:	INIT:

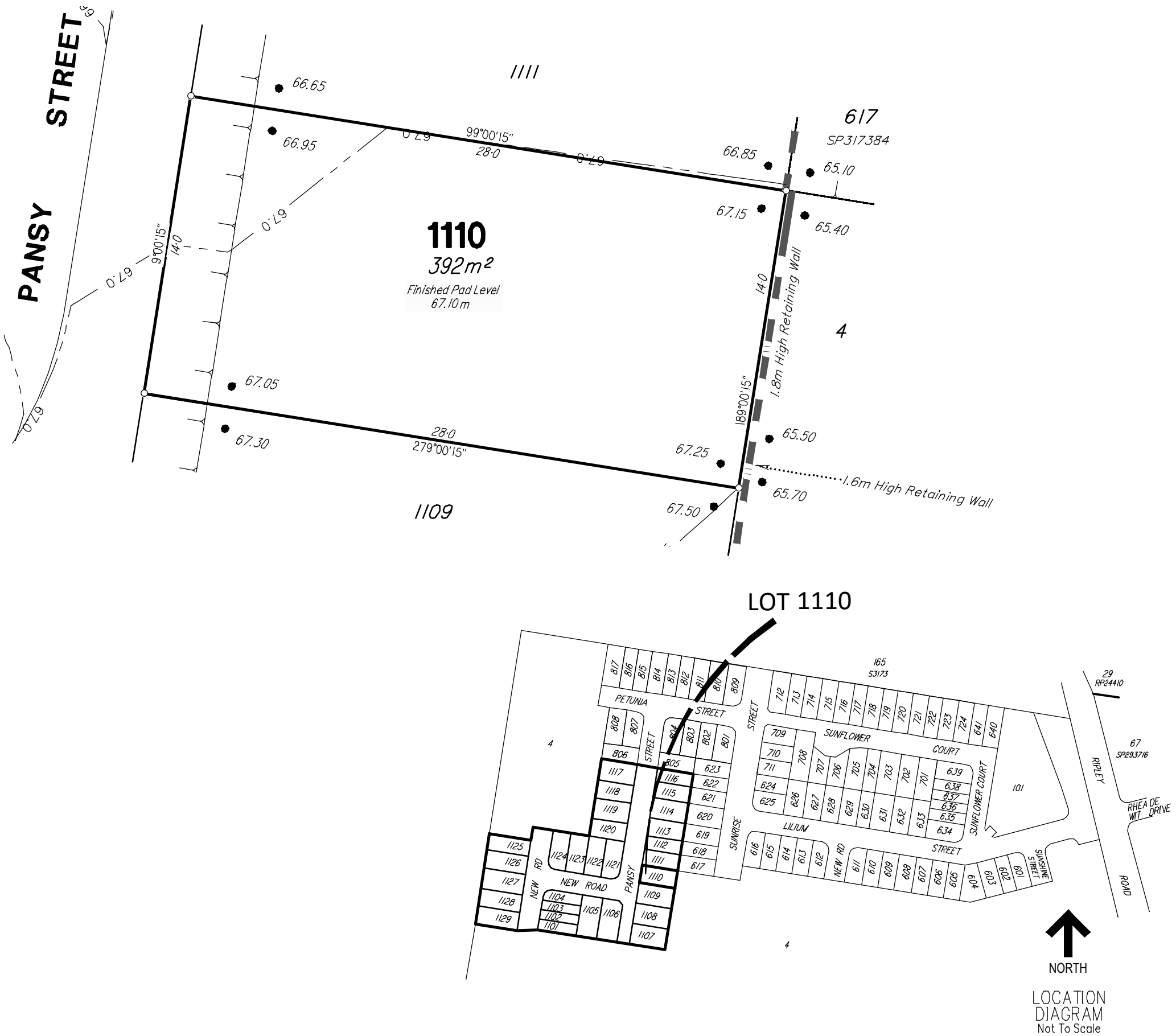
TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11
SHEET: 9 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021

PLAN: 47 A



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- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1110 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER

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PLANNERS

URBAN DESIGNERS

SURVEYORS

ENGINEERS

LANDSCAPE ARCHITECTS

NORTH:

SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres

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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN

SATTERLEY PROPERTY GROUP PTY LTD

RIPLEY VALLEY-Stage 11

459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11

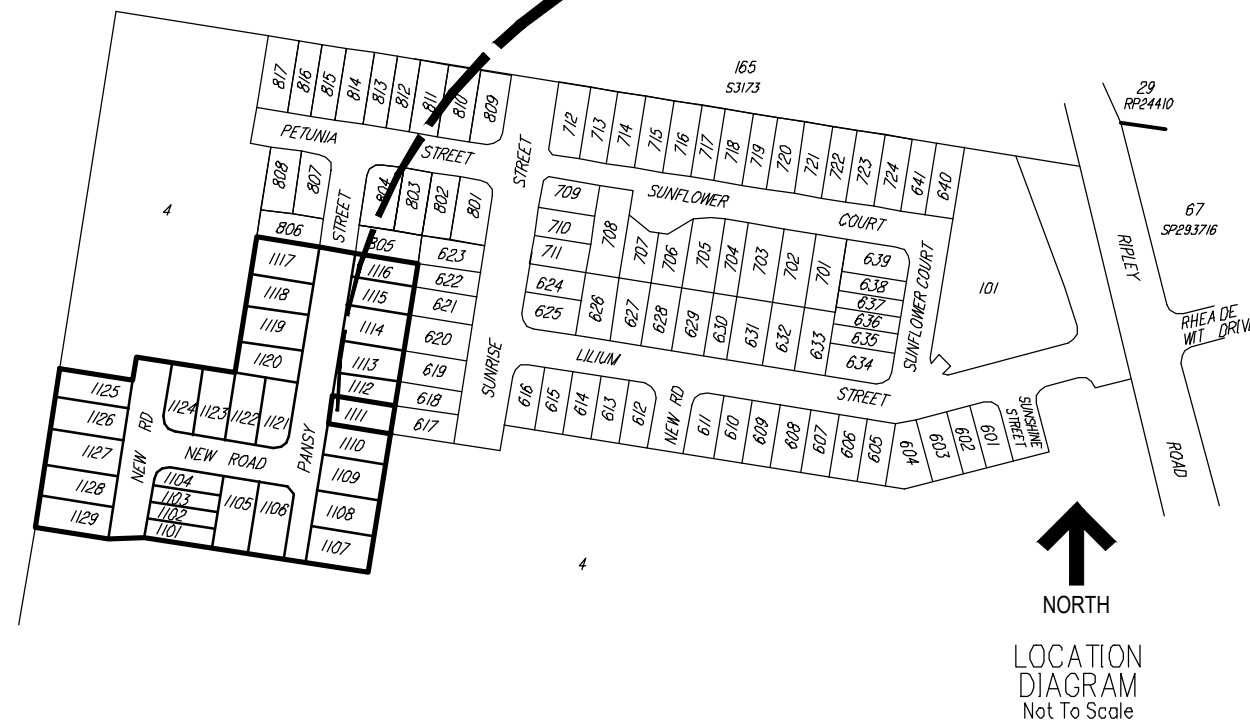
PLAN: 47 A

SHEET: 10 OF 29

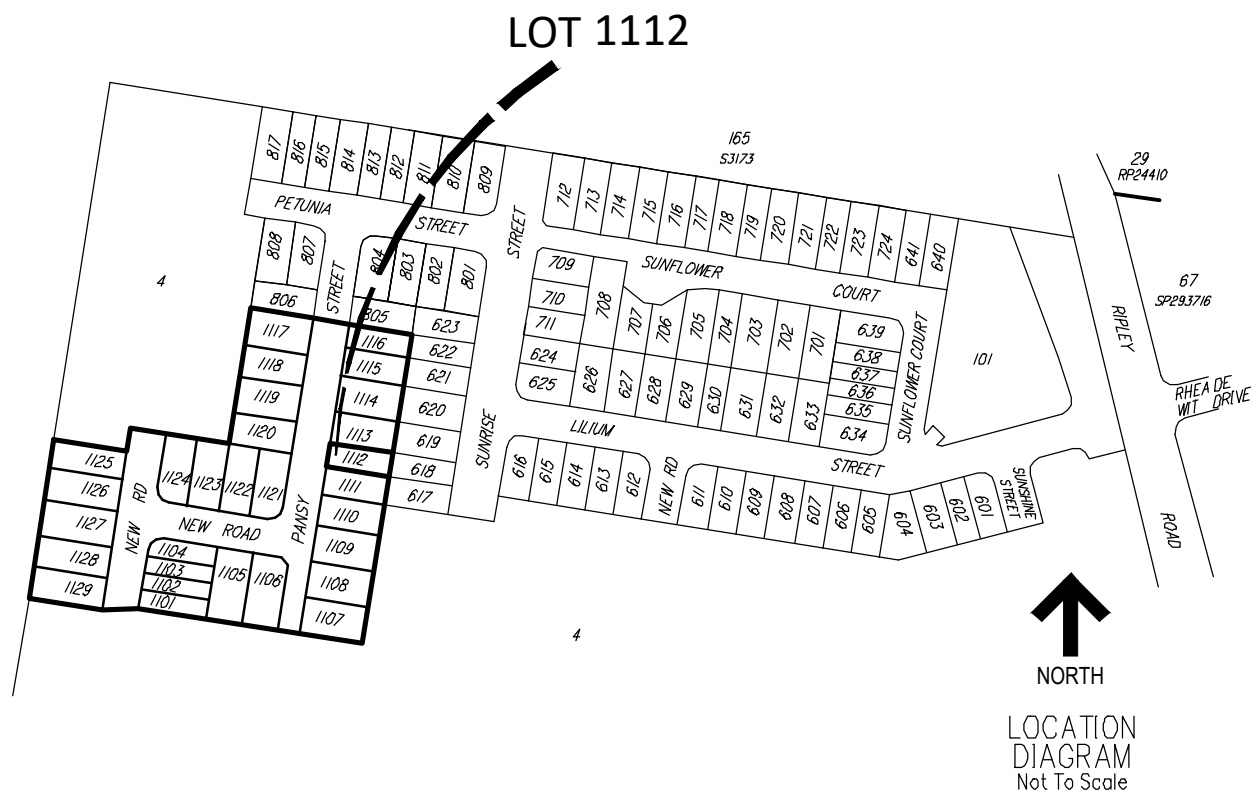
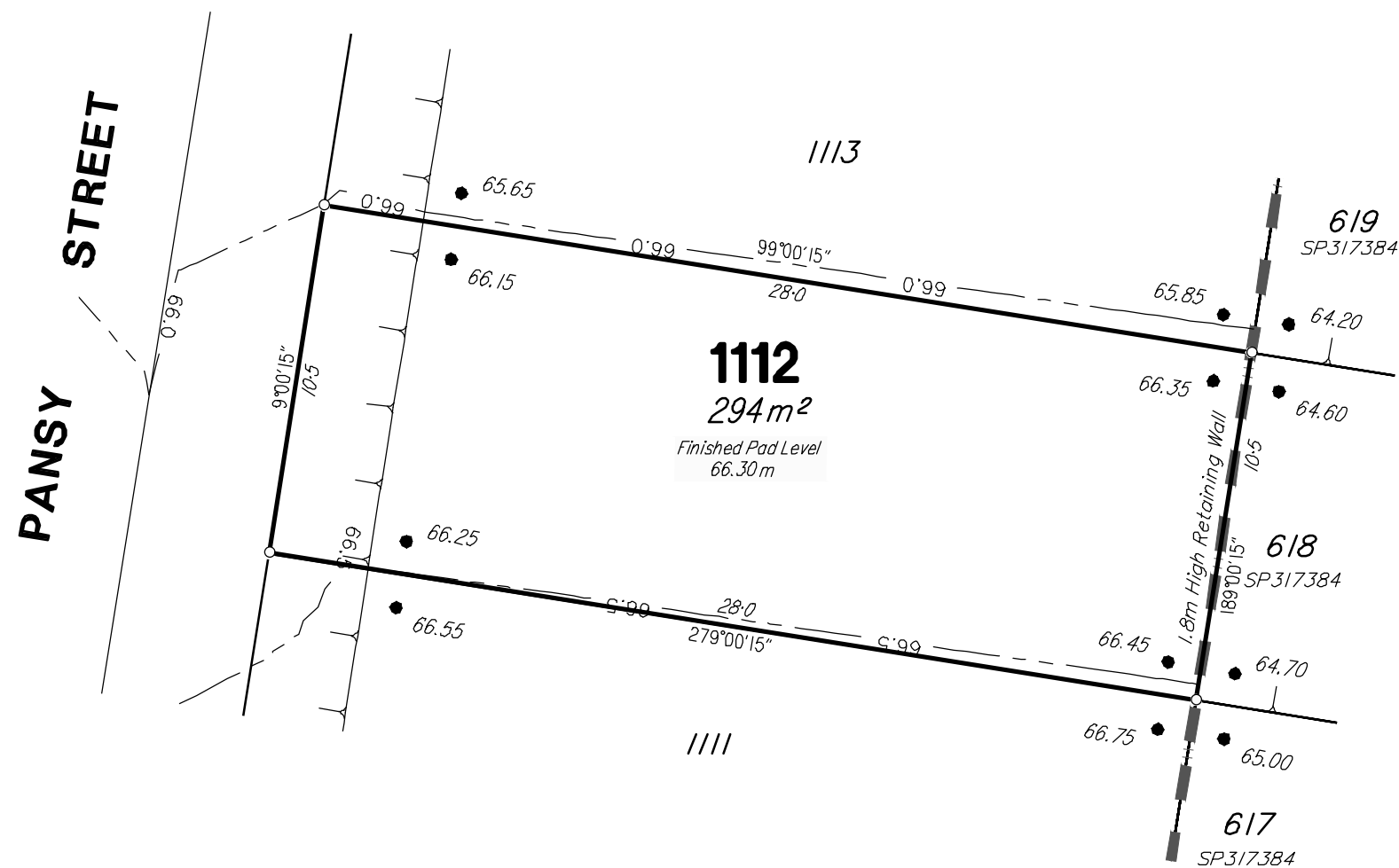
FILE: B3742-47A_Stg 11 Disclosure.dwg

DATE: 27th April 2021

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TOP
BATTER

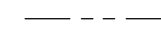


IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 1112 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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CONTOUR INTERVAL: 0.5m

LEGEND:



DESIGNED CONTOURS
(as at the completion of the work)

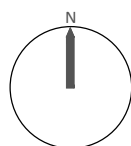


PROPOSED
RETAINING WALL



TOP
BATTER

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14
metres

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

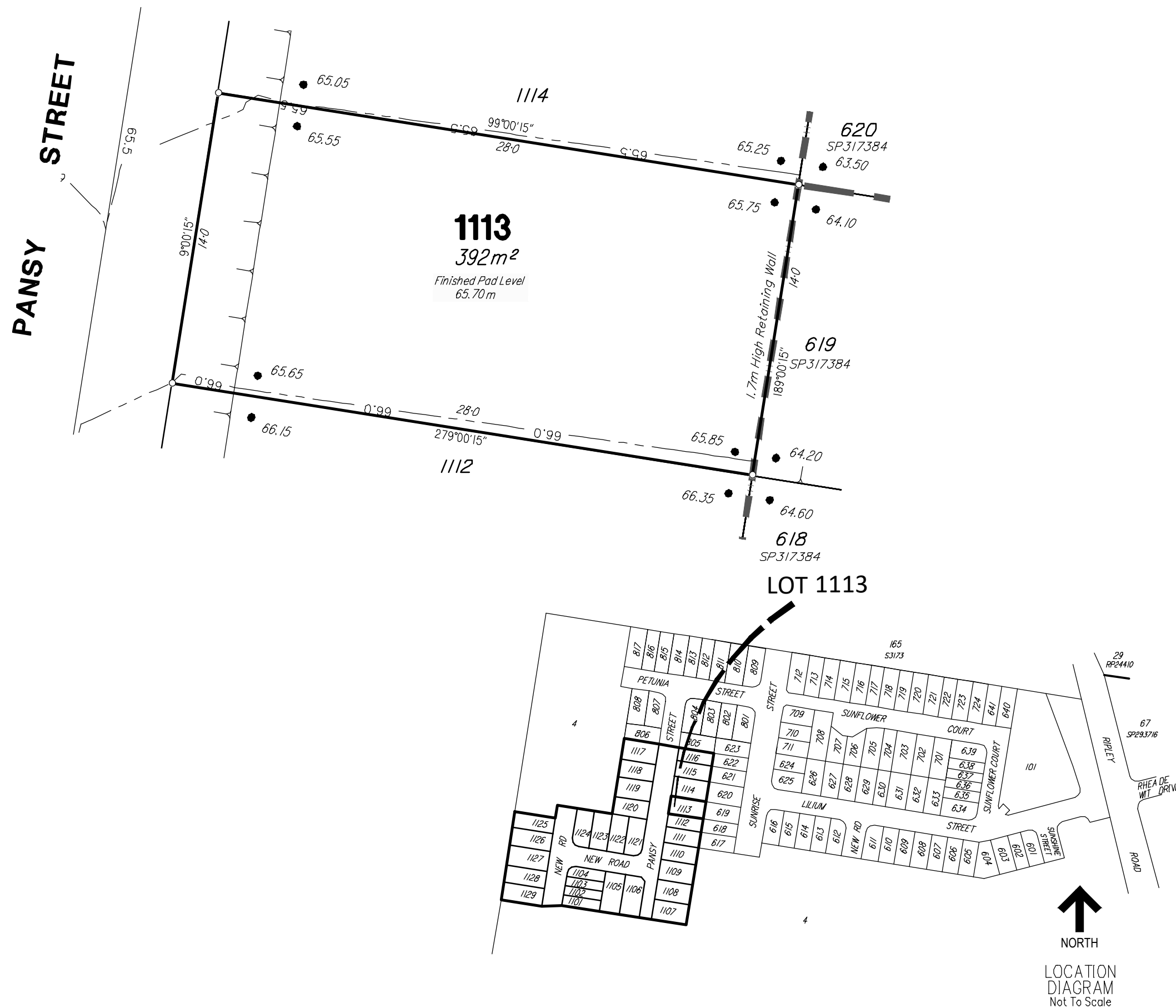
A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11 PLAN: 47 A
SHEET: 12 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021



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- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1113 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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CONTOUR INTERVAL: 0.5m

LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER

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SURVEYORS

ENGINEERS

LANDSCAPE ARCHITECTS

NORTH:

SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres

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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN

SATTERLEY PROPERTY GROUP PTY LTD

RIPLEY VALLEY-Stage 11

459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

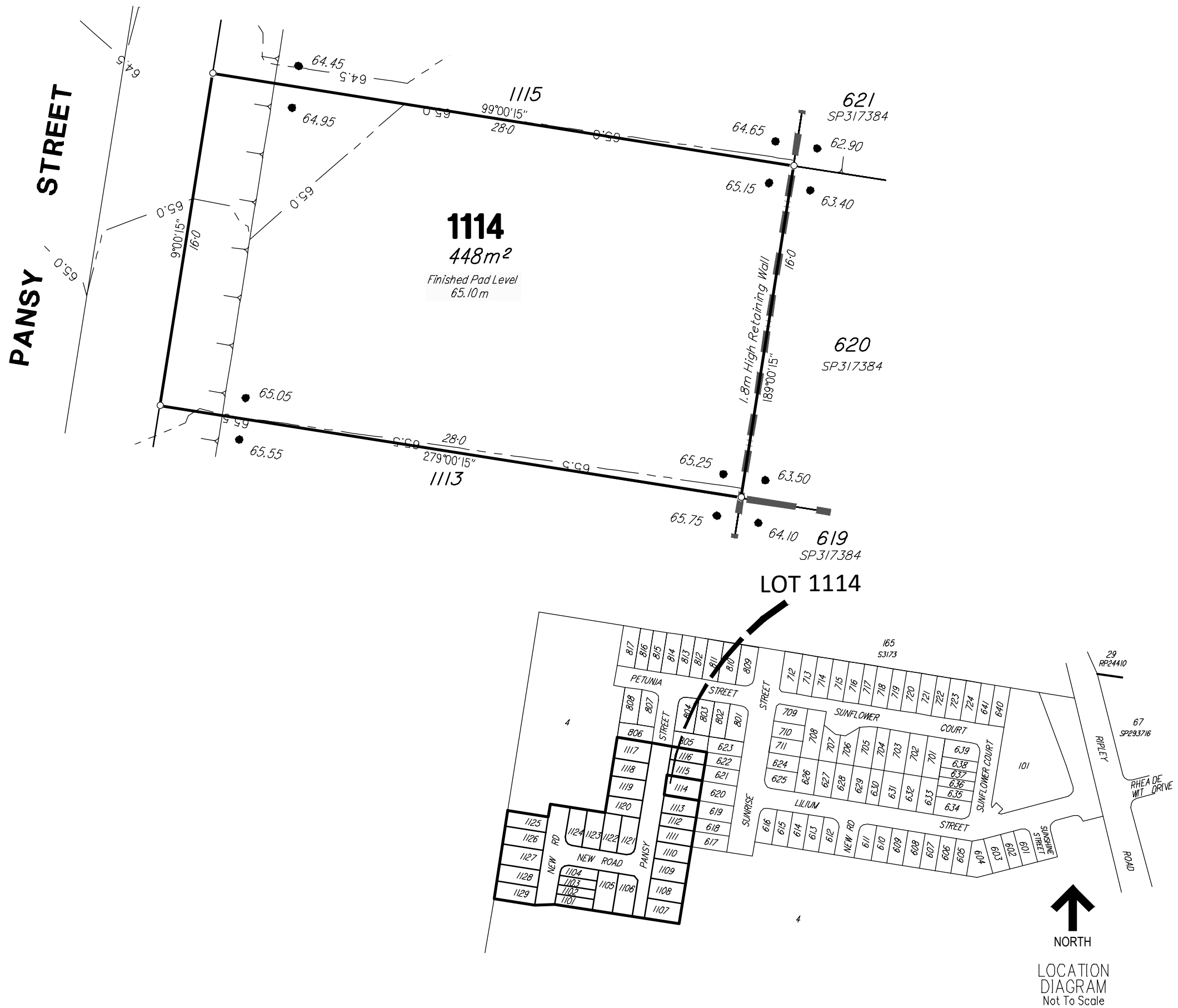
PROJECT: B3742S_11

PLAN: 47 A

SHEET: 13 OF 29

FILE: B3742-47A_Stg 11 Disclosure.dwg

DATE: 27th April 2021



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- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1114 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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CONTOUR INTERVAL: 0.5m

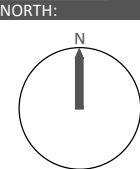
LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER

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LANDSCAPE ARCHITECTS



SCALE:
SCALE: @ A3 1:200
0 2 4 6 8 10 12 14 metres
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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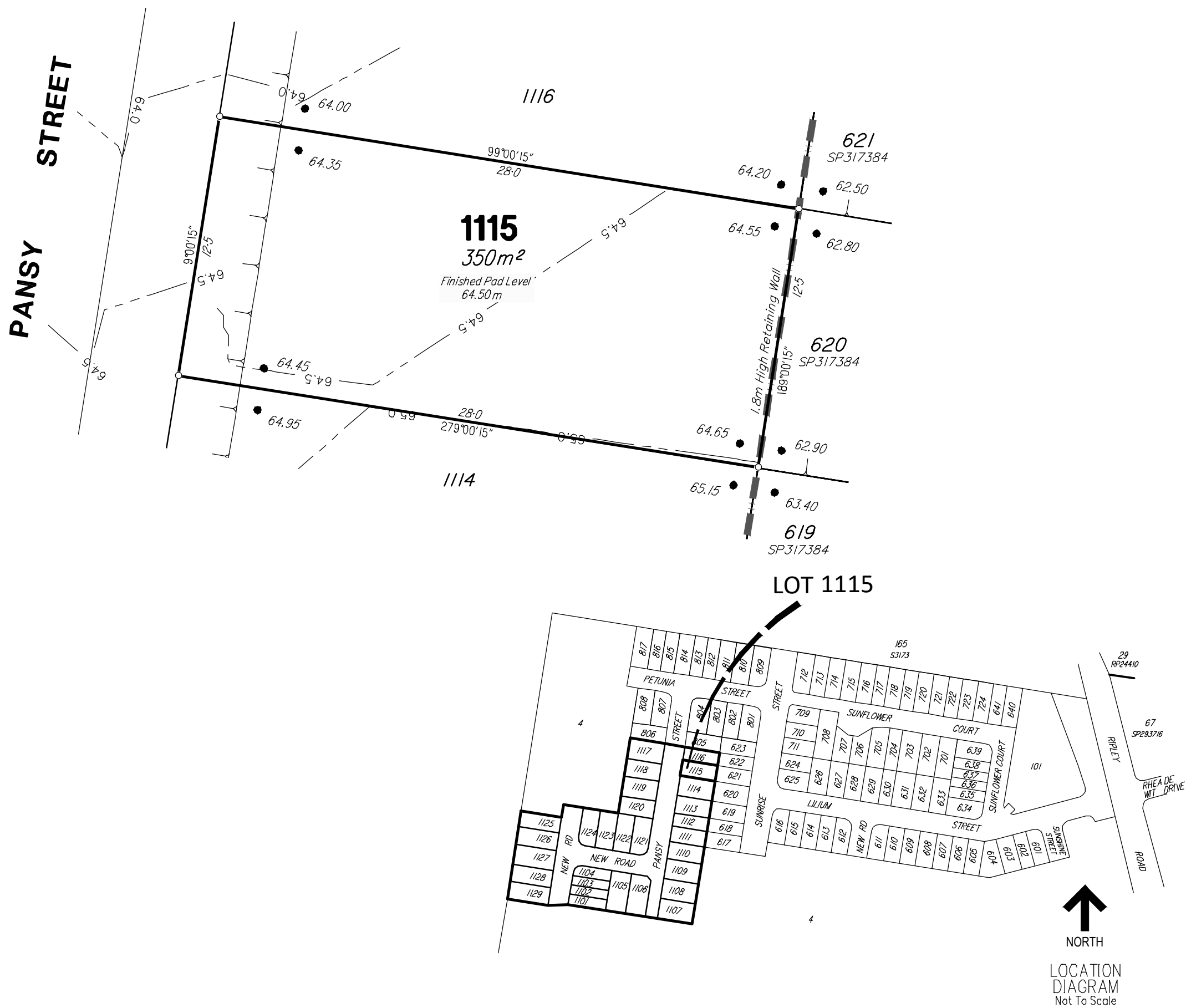
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DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:	
A	ORIGINAL ISSUE
27-04-21	DWW
ISSUE:	DETAILS:
DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:	
PROJECT:	PLAN: ISSUE:
B3742S_11	47 A
SHEET:	
14 OF 29	
FILE:	
B3742-47A_Stg 11 Disclosure.dwg	
DATE:	
27th April 2021	



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CONTOUR INTERVAL: 0.5m

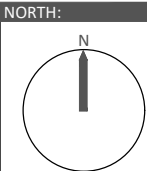
LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER

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URBAN DESIGNERS
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SCALE:				
SCALE: @ A3 1:200				
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)				
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE				
SURVEYED	JFP	CHECKED	RP	DATUM AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM) PM58130 RL 54.763m

ISSUES:																					
<table><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>																					
A	ORIGINAL ISSUE 27-04-21 DWW																				
ISSUE:	DETAILS: DATE: INIT:																				

TITLE:

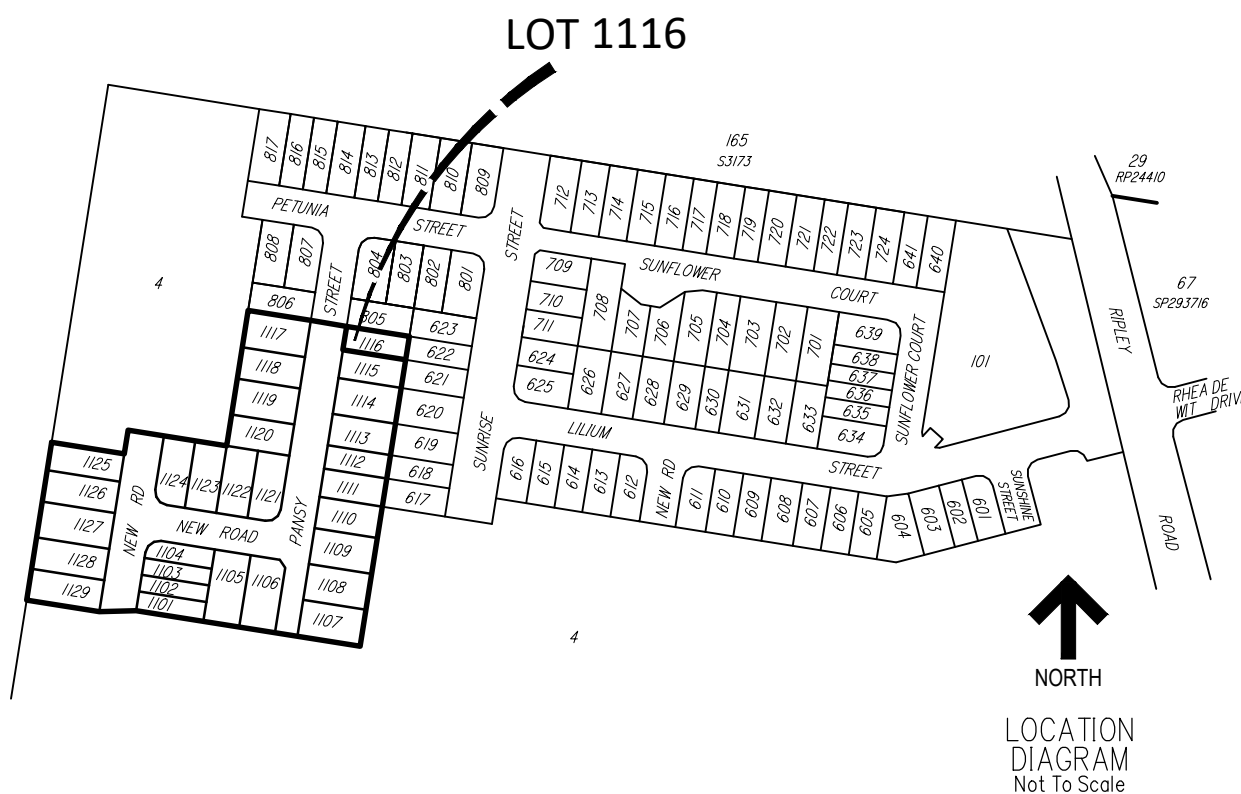
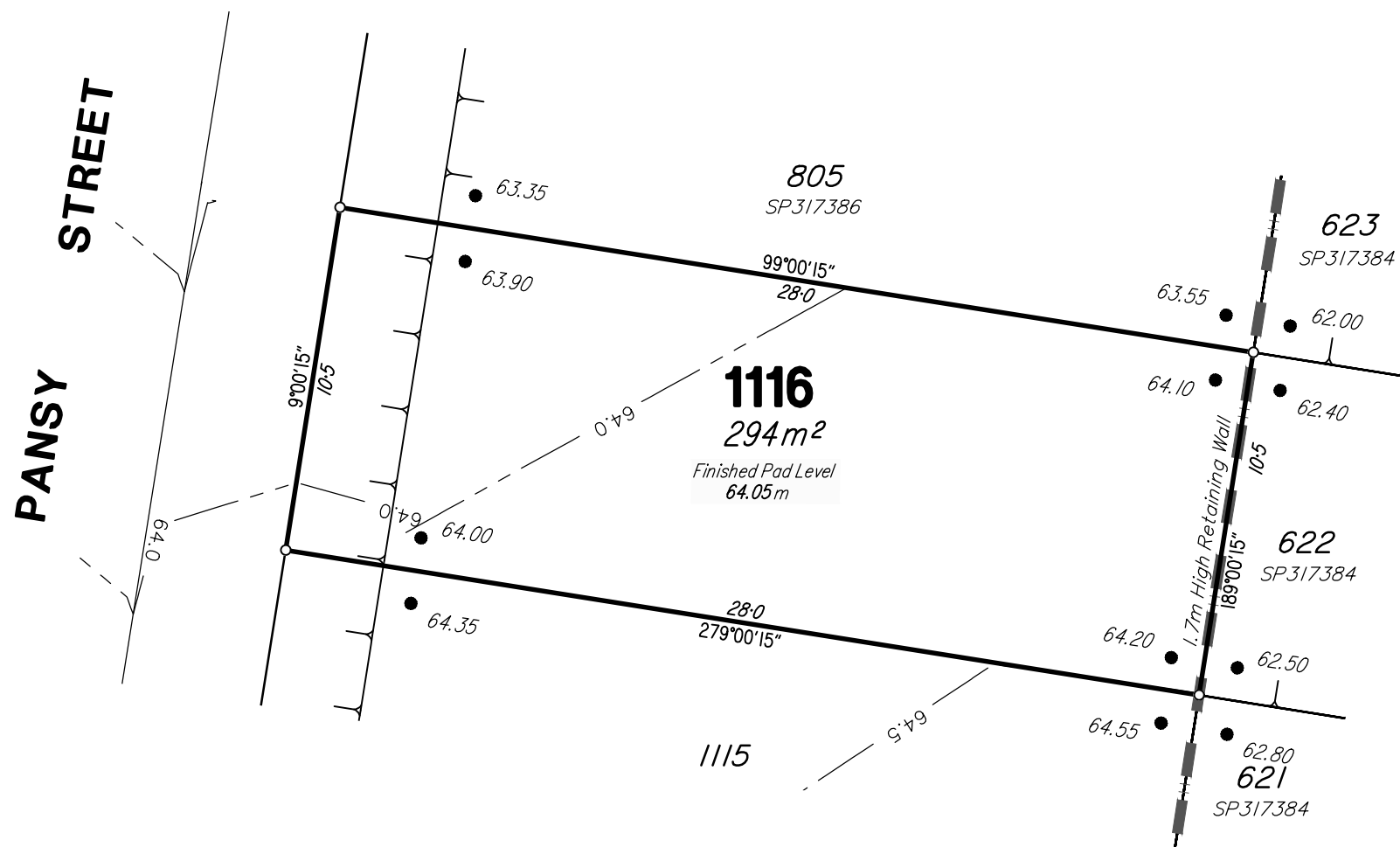
DISCLOSURE PLAN

SATTERLEY PROPERTY GROUP PTY LTD

RIPLEY VALLEY-Stage 11

459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:	
PROJECT:	PLAN: ISSUE:
B3742S_11	47 A
SHEET:	
15 OF 29	
FILE:	
B3742-47A_Stg 11 Disclosure.dwg	
DATE:	
27th April 2021	

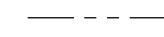


IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1116 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
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CONTOUR INTERVAL: 0.5m

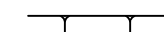
LEGEND:



DESIGNED CONTOURS
(as at the completion of the work)



PROPOSED
RETAINING WALL



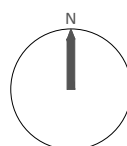
TOP
BATTER



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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14
metres
SCALE 1:200 at (A3) size
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

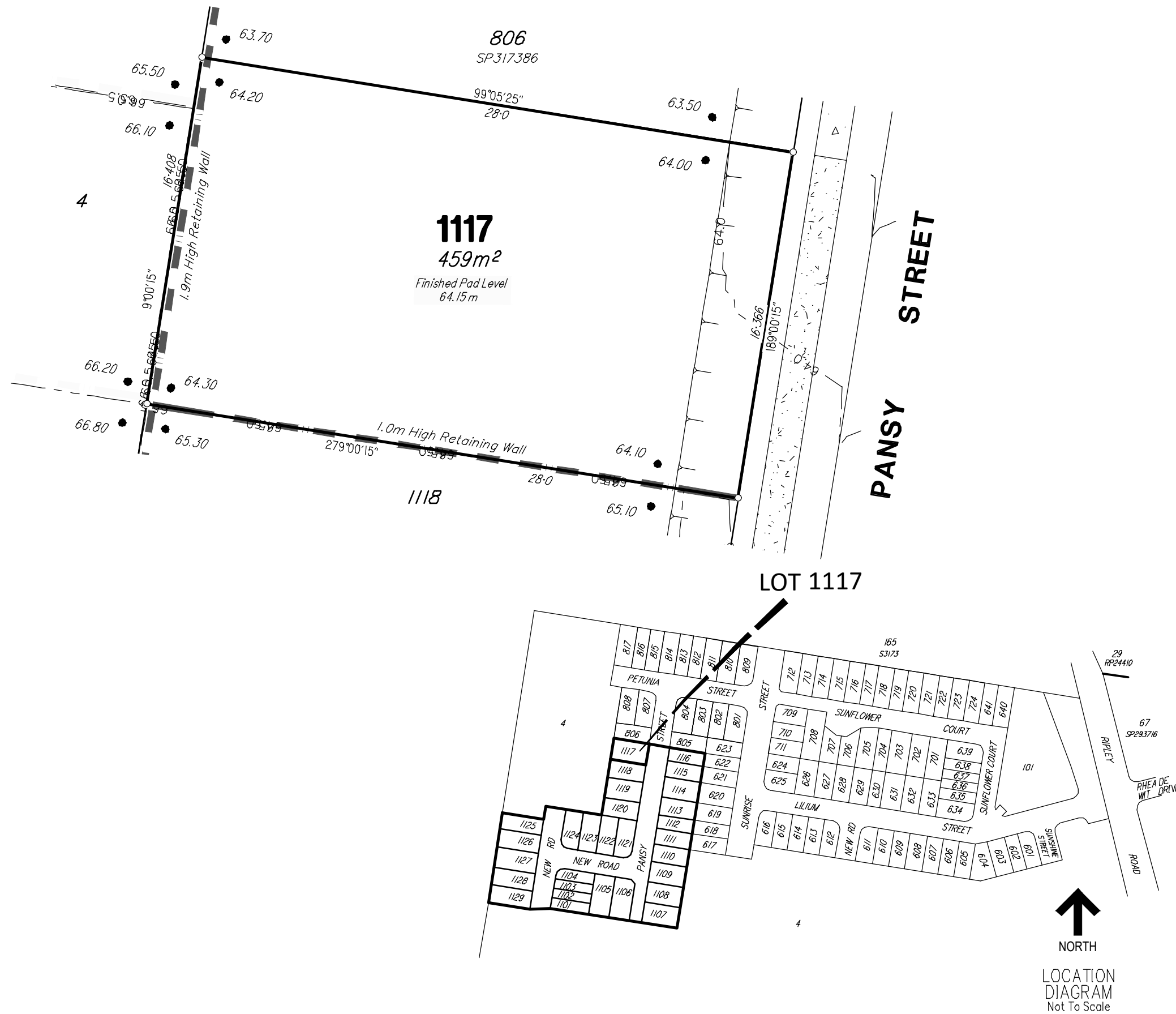
A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11 PLAN: 47 A
SHEET: 16 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021



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- (2) This plan shows details of Proposed Allotment 1117 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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CONTOUR INTERVAL: 0.5m

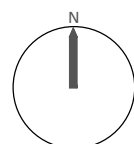
LEGEND:

DESIGNED CONTOURS
(as at the completion of the work)

PROPOSED
RETAINING WALL

TOP
BATTER

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14
metres

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

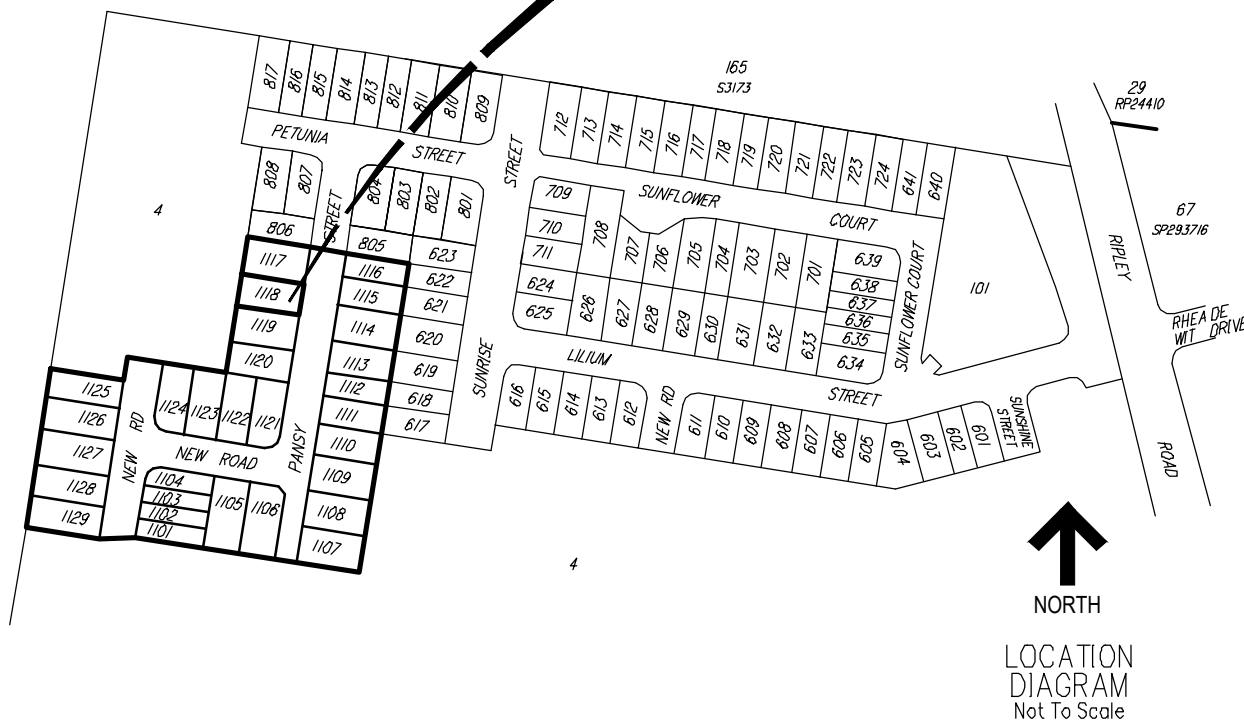
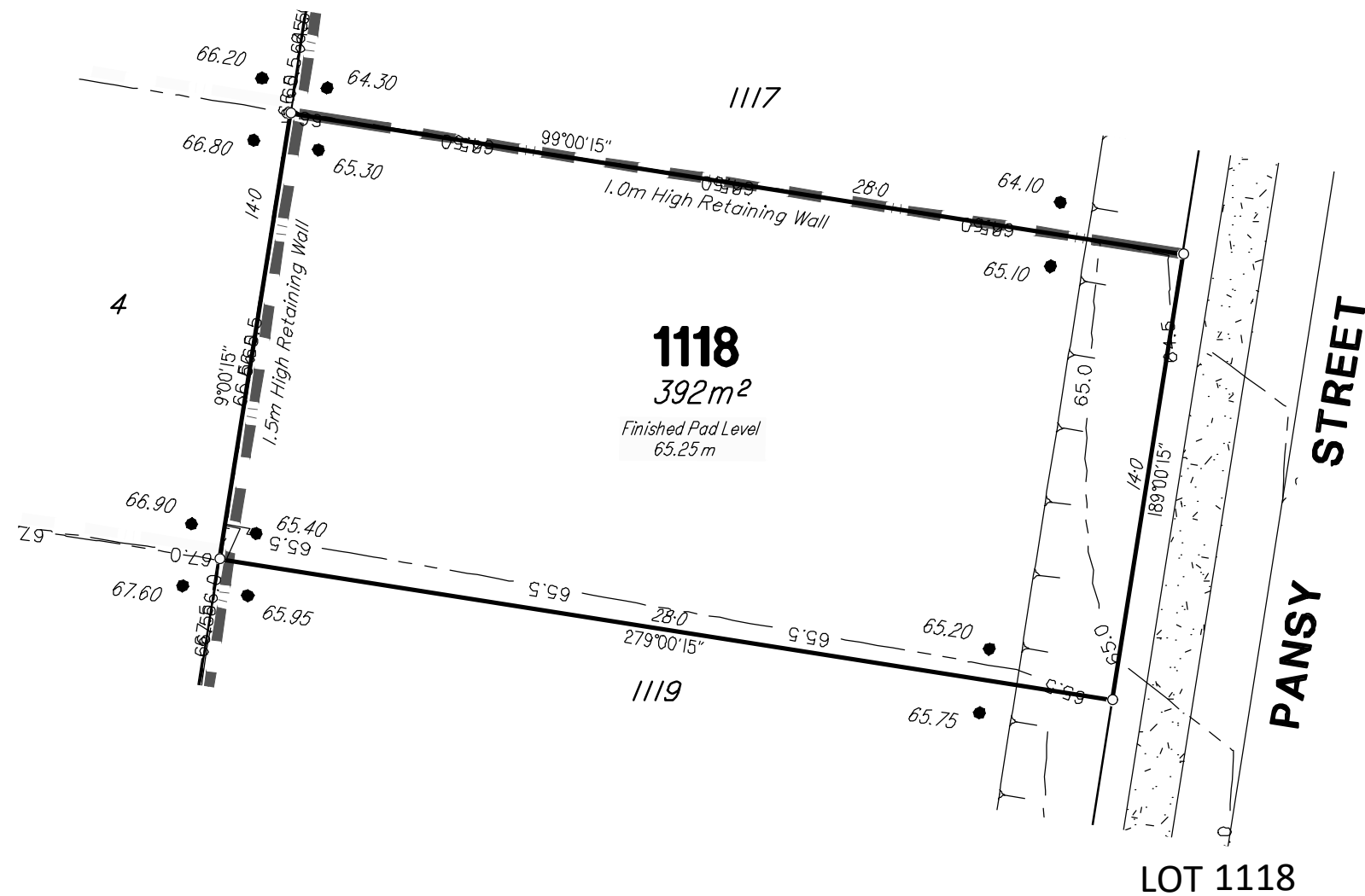
A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11
SHEET: 17 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021
PLAN: 47 A
ISSUE:



IMPORTANT NOTES

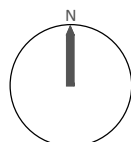
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1118 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (7) Engineering design received from PEAK URBAN on the 26th February 2021.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA7 D1 E dated 21st April 2021.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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CONTOUR INTERVAL: 0.5m

LEGEND:

- — — — — DESIGNED CONTOURS
(as at the completion of the work)
- — — — — PROPOSED
RETAINING WALL
- TOP
BATTER

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14
metres
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

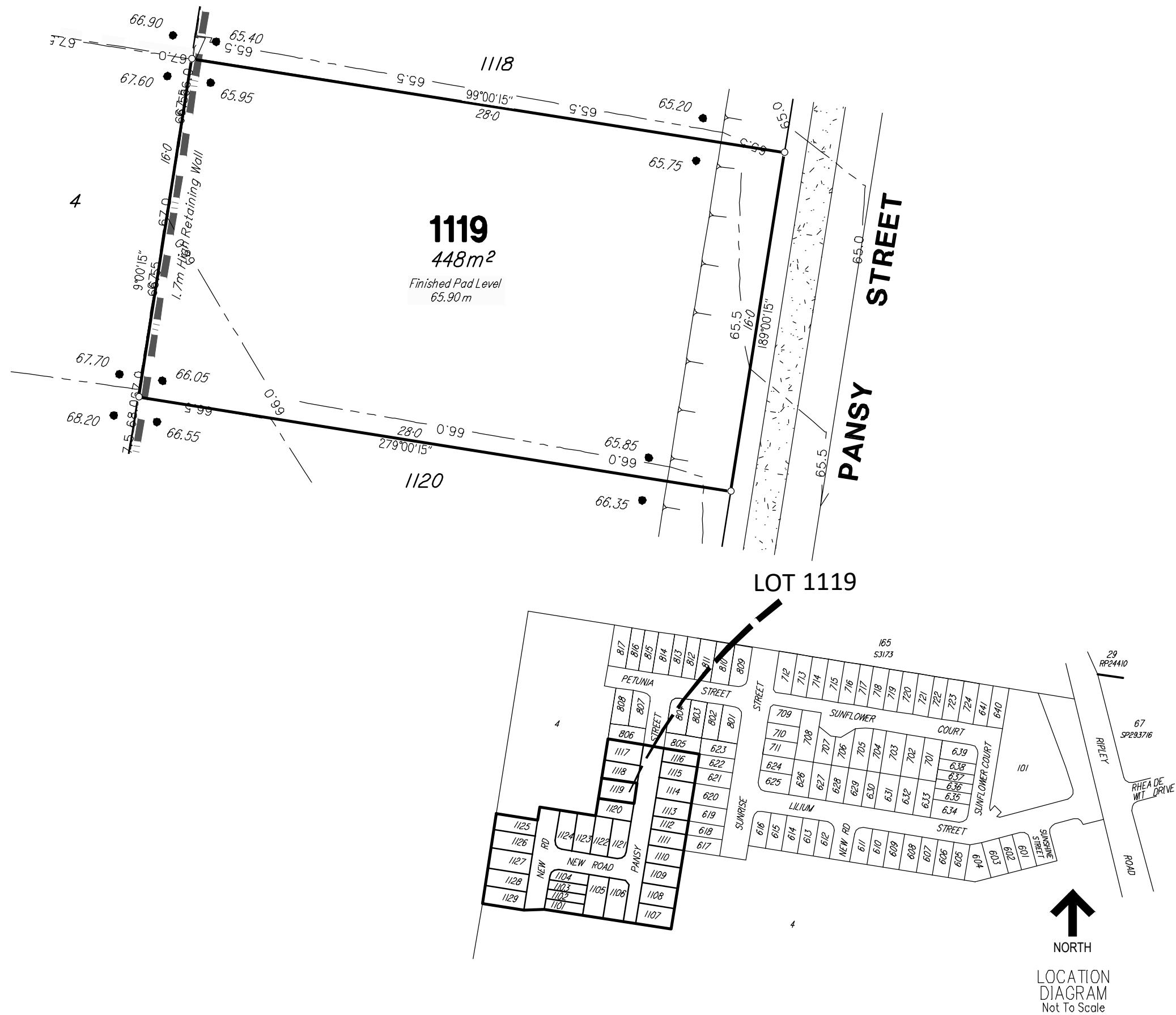
A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11 PLAN: 47 A
SHEET: 18 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1119 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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- (4) There is no fill placed on this lot as part of these works.
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CONTOUR INTERVAL: 0.5m

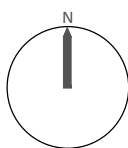
LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER



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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14
metres
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

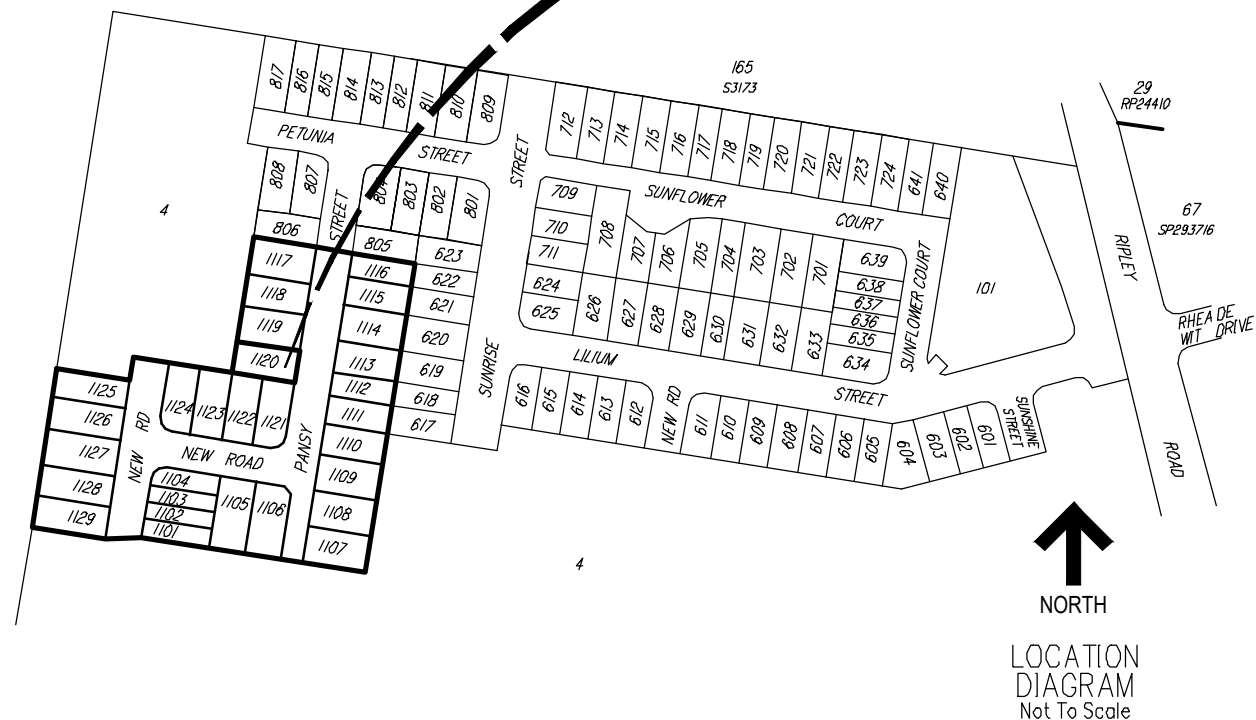
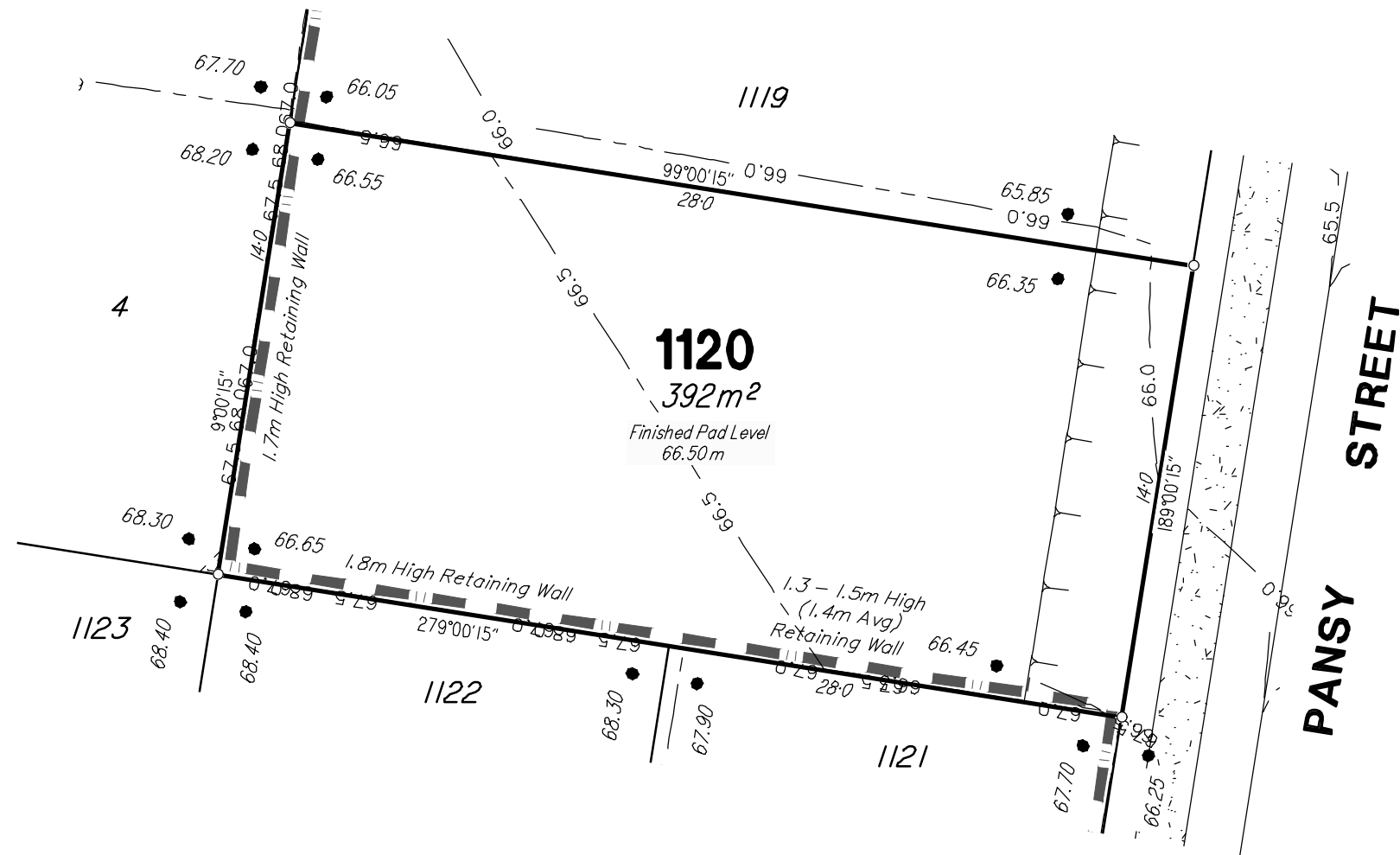
A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11
SHEET: 19 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021
PLAN: 47 A
ISSUE:



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1120 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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CONTOUR INTERVAL: 0.5m

LEGEND:	
	DESIGNED CONTOURS (as at the completion of the work)
	PROPOSED RETAINING WALL
	TOP BATTER

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PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

NORTH:

SCALE: @ A3 1:200
0 2 4 6 8 10 12 14 metres
SCALE 1:200 at (A3) size
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)
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SURVEYED	JFP	CHECKED	RP	DATUM	AHD
DRAWN	RK	APPROVED	MTF	ORIGIN (BM)	PM58130 RL 54.763m

ISSUES:

A	ORIGINAL ISSUE	27-04-21	DWW
ISSUE:	DETAILS:	DATE:	INIT:

TITLE:

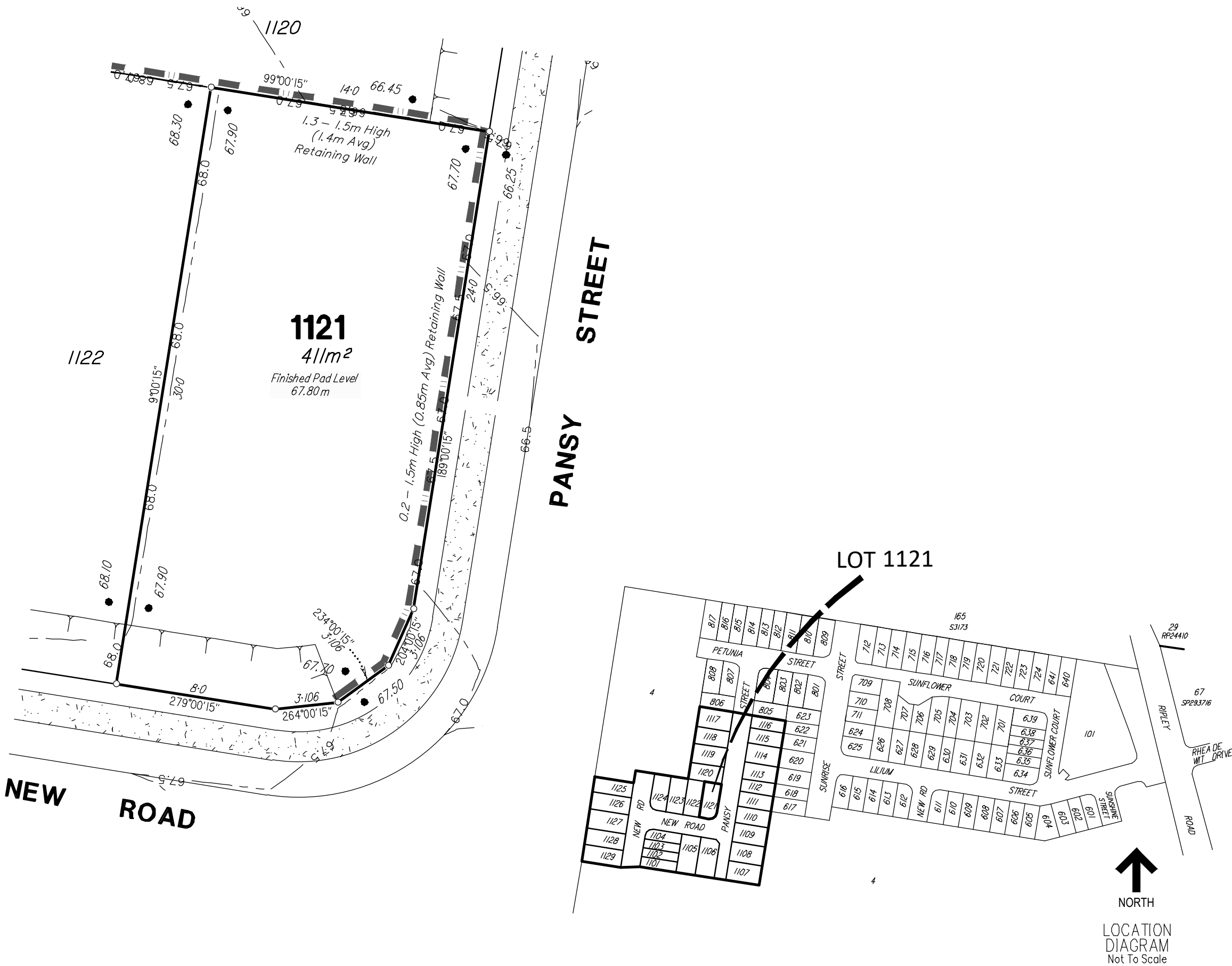
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S_11 PLAN: 47 A
SHEET: 20 OF 29
FILE: B3742-47A_Stg 11 Disclosure.dwg
DATE: 27th April 2021

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- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 1121 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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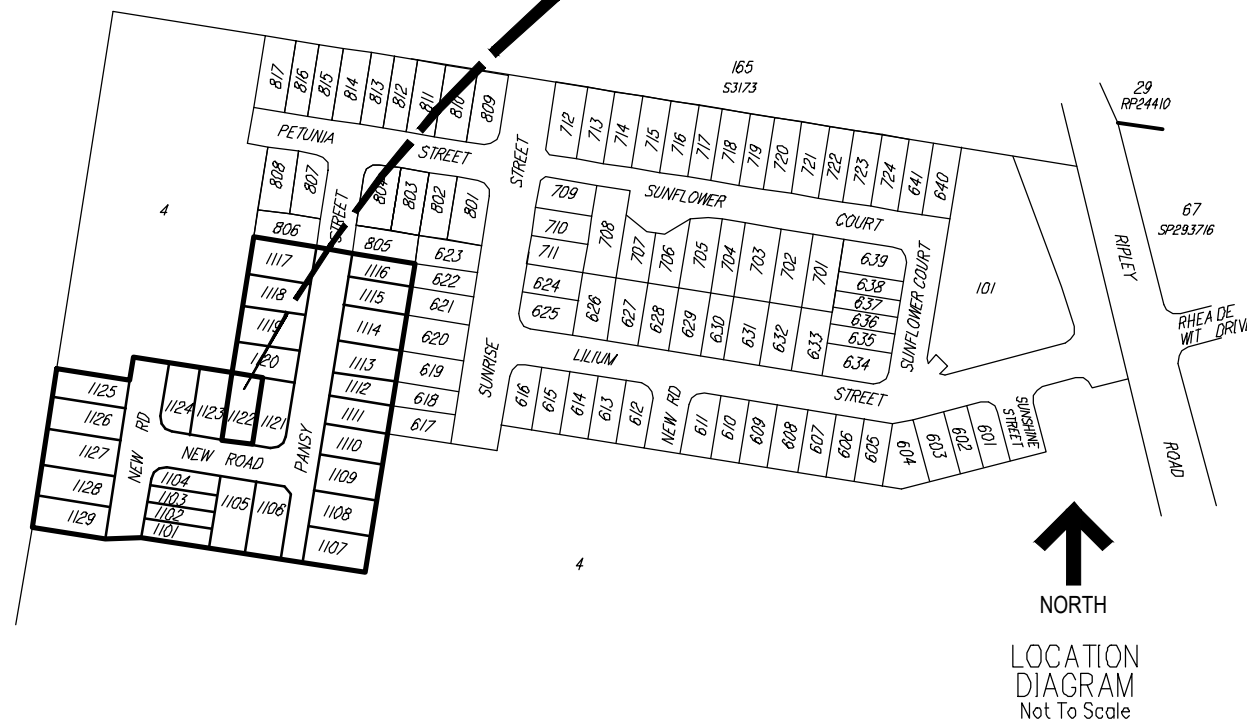
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The site plan for Lot 1122 shows a rectangular plot with the following details:

- Lot Identification:** 1122, 420m², Finished Pad Level 68.25m.
- Boundaries and Dimensions:**
 - North boundary: 99°00'15", 14.0, 9.29, 14.0, 9.29, 14.0.
 - East boundary: 189°00'15", 30.0, 68.0, 67.90, 68.0.
 - South boundary: 279°00'15", 14.0, 68.0, 68.0, 68.10, 67.90, 68.0.
 - West boundary: 9°00'15", 30.0, 68.40, 68.30, 68.20, 68.0.
- Surrounding Features:**
 - North:** 1.8m High Retaining Wall, adjacent to Lot 1120.
 - West:** Lot 1123.
 - East:** Lot 1121.
 - South:** NEW ROAD.
- Topography and Levels:** Elevation points are marked at various locations, including 68.30, 68.40, 68.20, 68.10, 67.90, and 67.5.

LOT 1122



CONTOUR INTERVAL: 0.5m

LEGEND:

DESIGNED CONTOURS
(as at the completion of the work)

PROPOSED
RETAINING WALL

TOP
BATTER

NORTH:

SCALE:

SCALE: @ A3 1:200

SCALE 1:200 at (A3) size metres

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SURVEYED	JFP	CHECKED	RP	DATUM AHD
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DRAWN	RK	APPROVED	MTF	ORIGIN (BM) PM58130 RL 54.763r
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ISSUES:

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A	ORIGINAL ISSUE	27.04.21	DMB
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A	ORIGINAL ISSUE	27-04-21	DWV
ISSUE:	DETAILS:	DATE:	INIT

TITLE:

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 11
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT:	PLAN:	ISSUE:
B3742S_11	47	A

22 OF 29

B3742-47A_Stg 11 Disclosure.dwg

DATE:
27th April 2021



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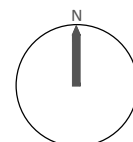
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