

(M) SEC 195 & 196 EASEMENT

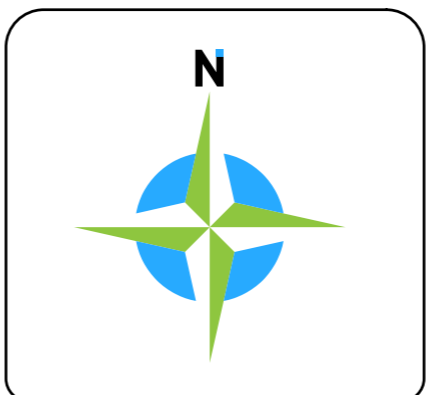
LAND USE / STATISTICS			
DISTRICT CENTRE 5		WAPC Ref:- 161451	
PARCEL TYPE	MAP SYMBOL	NUMBER OF PARCELS	AREA (ha)
Traditional Lots		7	2.7540
Public Open Space	P.O.S.	0	0
Roads (inc. truncations)			0.0681
<b>STAGE TOTAL</b>		<b>7</b>	<b>2.8222</b>

Ver.	Description	Drawn	Date	Checked
B	Amend Easements on Lots 2001-2003, and Truncation to Lot 2004	APO	03/05/2022	CPO
A	Initial Issue	WHD	24/02/2022	CPO

FILES  
mapCOGO- Plan 1284  
Control Register:- 91900  
File Name:- 91900pr-1284b.dgn

PRECAL LEGEND  
See below Lot Stats table for further information

- Stage Boundary
- Vehicle Access Restriction
- Potential Dwellings / Lot



DALYELLUP EAST  
DISTRICT CENTRE 5  
Dalyellup

CLIENT:  
**SATTERLEY**

The contents of this plan are current and correct as of the date stated within the revision panel. All consultants and persons wishing to utilise this data should satisfy themselves of this plan's currency by contacting the Mullen Nolan Group.

Project Mngr: Casey Oliver    Datum    P/G

SCALE 1:1000 @ A3  
ALL DISTANCES ARE IN METRES  
For a true to scale reproduction of this plan, plot it to A3 with the Paging Scaling set to None.

PLANNER'S DESIGN SOURCE for Rev A  
Planner:- Planned Focus  
Received date:- 02/05/2022  
File name:- c Reference Cadastral.dwg

ENGINEER'S DESIGN SOURCE for Rev  
Engineer:-  
Received date:-  
Data purpose:-

All areas and dimensions depicted on this plan are subject to survey and Landgate registration. All cadastral information external to the stage/s which form the subject of this plan are not guaranteed and are supplied as a guide only.



MC MULLEN NOLAN GROUP  
177 Spencer Street, South  
Bunbury, W.A. 8230  
PO Box 1233, Bunbury  
W.A. 6231, Australia  
Offices in: Perth | Melbourne | Kimberley | South West WA

Tel: (08) 6436 2120  
Fax: (08) 6436 1500  
info@mngsurvey.com.au  
www.mngsurvey.com.au  
ABN 90 009 363 311

**91900 - 1284 - B**

Job Number    Plan Number    Version

**DALYELLUP DISTRICT CENTRE PRECINCT B LDP**

**Notes**

- To be read in conjunction with the Dalyellup District Centre Outline Development Plan (DDCOPD), particularly clause 1.3 & 1.5, and the LDP text.
- Council shall require as a condition of approval that owners provide for unfettered movement of pedestrians and vehicles across lot boundaries on routes designated on this plan. Where subdivision is proposed, this may require the provision of Easements in Gross in accordance with Clause 1.1 of the LDP text.
- Signage and landscaping of individual sites shall accord with the overall centre strategies required under clause 1.3.6.1(g) of the DDCOPD.

**Land use**

- Land use shall be in accordance with part 1.5.4 of the Dalyellup District Centre Outline Development Plan
- "Take away food outlet" with a drive through component may be permitted on lots abutting Norton Promenade

**Development Standards**

**Active building edge**

- Active building edges are to incorporate a minimum of 50% glazing for the ground floor, maximise opportunities for public surveillance and are to accommodate the primary public access point to tenancies
- Active building edges should include awnings over the adjoining pedestrian routes to provide weather protection for pedestrians
- In addition to the above requirements for active building edges, facades directly facing Norton Promenade shall be in accordance with the following:
  - Minimum façade height of 3.6m
  - The use of at least two different colours and/or materials to add visual interest and avoid monotonous facades
  - Maximum window sill height of 700mm above finished floor level
  - A well defined entry point through the use of building articulation or other design features
  - All levels above ground floor are to include windows and indentations and extrusions to break up and add interest to the facade
- Buildings should be setback a minimum of 15.5m and a maximum of 21m from the Norton Promenade street boundary

**Other building facades**

- Building facades adjacent to internal movement routes (excluding truck service routes) and facing public streets shall be treated to avoid blank walls and enhance the quality of the streetscape through the inclusion of features such as, but not limited to:
  - Glazing that provides passive surveillance opportunities
  - Alternative colours and finishes. Colour schemes should not be bold or obtrusive
  - Intrusions and extrusions in the wall
  - Art or other graphic representations at the discretion of the Shire
  - Any other innovative treatment that the Shire deems acceptable

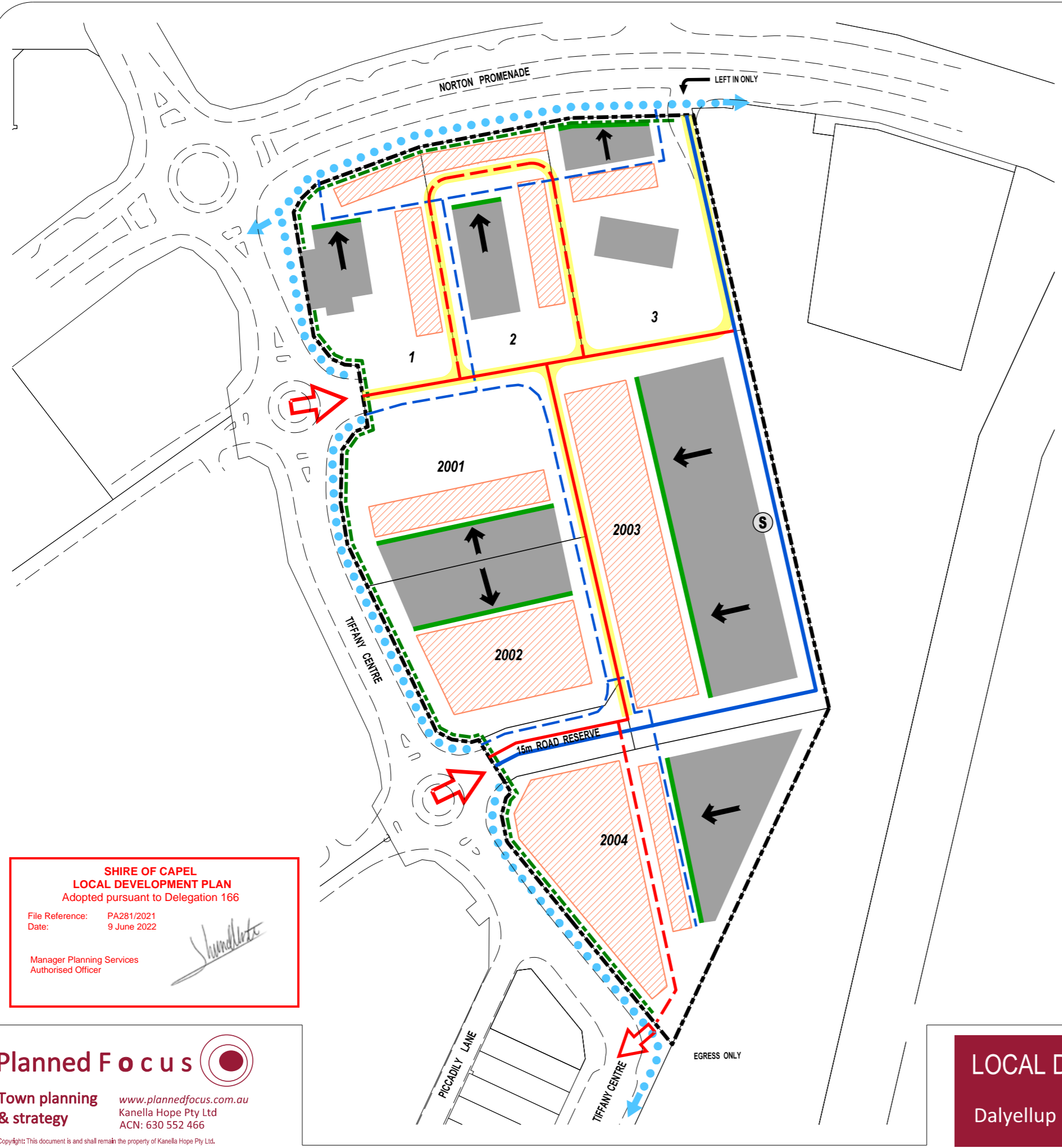
**Building height**

- No minimum or maximum building height applies

**Site levels**

- The site levels for the three lots fronting Norton Promenade are to be coordinated to allow for unfettered access between lots from the internal vehicle movement route

LEGEND	
	LDP BOUNDARY
	PEDESTRIAN ROUTE
	DUAL USE PATH
	MAIN CAR PARK LOCATIONS
	LARGE TRUCK SERVICE ROUTE
	MAIN INTERNAL VEHICLE MOVEMENT ROUTE
	SECONDARY INTERNAL VEHICLE MOVEMENT ROUTE
	VEHICLE ACCESS FROM PUBLIC STREETS
	ACTIVE BUILDING EDGE
	LEFT IN ONLY
	EASEMENT IN GROSS
	INDICATIVE BUILDING LOCATION
	BUILDING ORIENTATION
	MAJOR SERVICE AREA LOCATION
	MINIMUM 1.5m WIDE LANDSCAPE STRIP



**SHIRE OF CAPEL  
LOCAL DEVELOPMENT PLAN**  
Adopted pursuant to Delegation 166

File Reference: PA281/2021  
Date: 9 June 2022

Manager Planning Services  
Authorised Officer

**Planned Focus**

Town planning & strategy

www.plannedfocus.com.au  
Kanella Hope Pty Ltd  
ACN: 630 552 466

Copyright: This document is and shall remain the property of Kanella Hope Pty Ltd.

**LOCAL DEVELOPMENT PLAN**

Dalyellup District Centre

Plan No: 18-0004-LDP-5

Date: 31.03.2022  
Rev: C  
Scale: A3 @ 1:750  
Co-ords: MGA 50, GDA 94  
Aerial: 03/12/2021

This plan has been prepared for planning purposes. Areas, contours and dimensions shown are subject to survey.