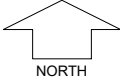


PRELIMINARY

**VALE
STAGE 19H**



SCALE 1:500

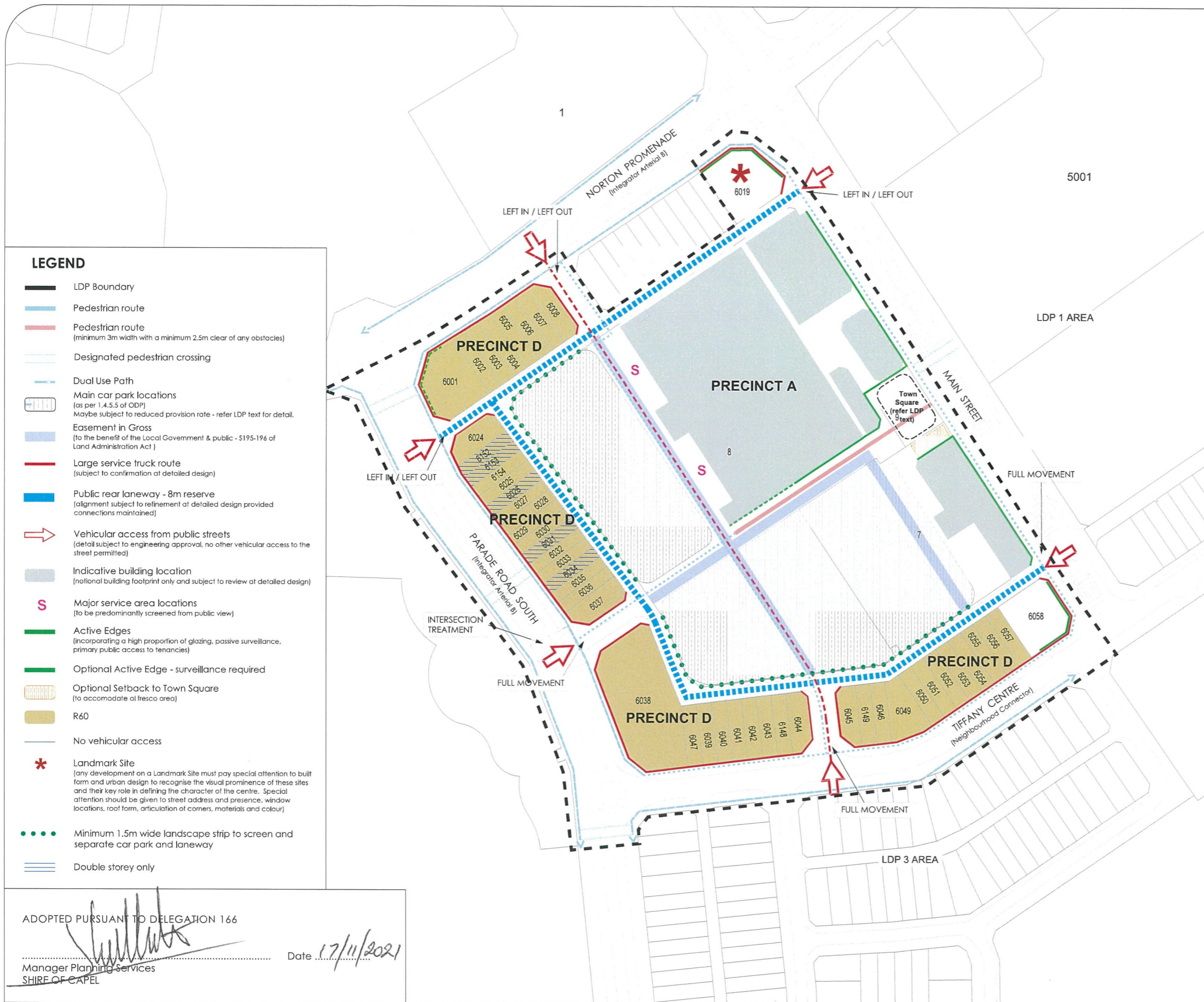
MNG Ref: 91900lip-1299a Date: 02/05/2022

All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

LEGEND

- WATER
- WATER METER
- VALVE / HYDRANT
- SEWER / MANHOLE
- DRAINAGE
- ACCESS RESTRICTION

- POWER DOME - MINI PILLAR
- POWER DOME - UNIVERSAL PILLAR
- STREETLIGHT
- PADMOUNT SITE
- RETAINING WALL & HEIGHT
- DRAINAGE HOUSING CONNECTION /MANHOLE
- TOP OF KERB HIEGHT
- SPOT LEVEL
- PAD LEVEL
- ROAD LEVEL
- NBN CONNECTION
- FIBRE DISTRIBUTION HUB



LEGEND

- LDP Boundary
- Pedestrian route
- Pedestrian route (minimum 3m width with a minimum 2.5m clear of any obstacles)
- Designated pedestrian crossing
- Dual Use Path
- Main car park locations (as per 1.4.5.5 of ODP) Maybe subject to reduced provision rate - refer LDP text for detail.
- Easement in Gross (to the benefit of the Local Government & public - S195-196 of Land Administration Act)
- Large service truck route (subject to confirmation at detailed design)
- Public rear laneway - 8m reserve (alignment subject to refinement at detailed design provided connections maintained)
- ➔ Vehicular access from public streets (detail subject to engineering approval, no other vehicular access to the street permitted)
- Indicative building location (notional building footprint only and subject to review at detailed design)
- S Major service area locations (to be predominantly screened from public view)
- Active Edges (incorporating a high proportion of glazing, passive surveillance, primary public access to tenancies)
- Optional Active Edge - surveillance required
- Optional Setback to Town Square (to accommodate al fresco area)
- R60
- No vehicular access
- ✳ Landmark Site (any development on a Landmark Site must pay special attention to built form and urban design to recognise the visual prominence of these sites and their key role in defining the character of the centre. Special attention should be given to street address and presence, window locations, roof form, articulation of corners, materials and colour)
- Minimum 1.5m wide landscape strip to screen and separate car park and laneway
- Double storey only

PRECINCT D

R-CODE VARIATIONS
Unless otherwise varied by this Local Development Plan (LDP), the provisions and requirements of the R-Codes for the R60 codings apply within Precinct D.

This LDP operates in conjunction with the requirements of the R-Codes by applying additional controls or by varying "Deemed to Comply" requirements. Where this LDP varies any requirement of the R-Codes, compliance shall be deemed to constitute "Deemed to Comply" and neighbour consultation with respect to those items is not required.

This LDP should also be read in conjunction with the development requirements of the Dalyellup East Local Structure Plan, the Dalyellup District Centre Outline Development Plan and the Shire of Capel Town Planning Scheme No 7.

VEHICLE ACCESS RESTRICTION
1. Vehicle access restrictions are indicated by a red line on the Plan.

PRIVATE OPEN SPACE/SITE COVER
2. The following concessions apply to residential lots less than 550m² in area:
- The minimum open space required is 25% the site.

3. This concession is subject to the provision for an outdoor living area directly accessible from an internal living area and which:
- Has a minimum useable space of 24m².
- Has a minimum dimension of 4.0m.

4. Permanent cover up to a maximum of two thirds of the outdoor living area is permitted.

SETBACKS
5. Setbacks apply as per the requirements of the R-Codes except:
- The minimum primary street setback to a porch or verandah is 2.0m.
- The maximum primary street setback is 4.0m.
- The minimum building setback to a dwelling (excluding garage) to a laneway is 1.0m.

BOUNDARY WALLS
6. Boundary walls are permitted to both side boundaries (excluding secondary street boundaries other than laneways), providing these are behind the minimum front setback and within the following limits:

Table 1		
Description	Max. Wall Height	Max. Wall Length
Dwelling - Single Storey	3.5m	No Limit
Dwelling - Two Storey	6.5m	15m

Note: Height to be measured from Natural Ground Level.
For dwellings with a pitched roof, the height of walls on side boundaries may be increased to the top of the ridge line where this runs parallel to the front boundary and abuts a similarly configured wall or secondary street.

7. For dwellings with a pitched roof the height of walls on the side boundaries may be increased to the top of the ridgeline where the ridgeline runs generally parallel to the front boundary and abuts a similarly configured wall or the secondary street.

OVERSHADOWING
8. The Overshadowing provisions of the R Codes do not apply.

BUILDING DESIGN
9. Front elevations to buildings shall include:
- A minimum of 2 colours and 2 materials;
- A minimum 32c ceilings to the front elevation; and
- At least one architectural feature such as a porch, gable or blade wall.

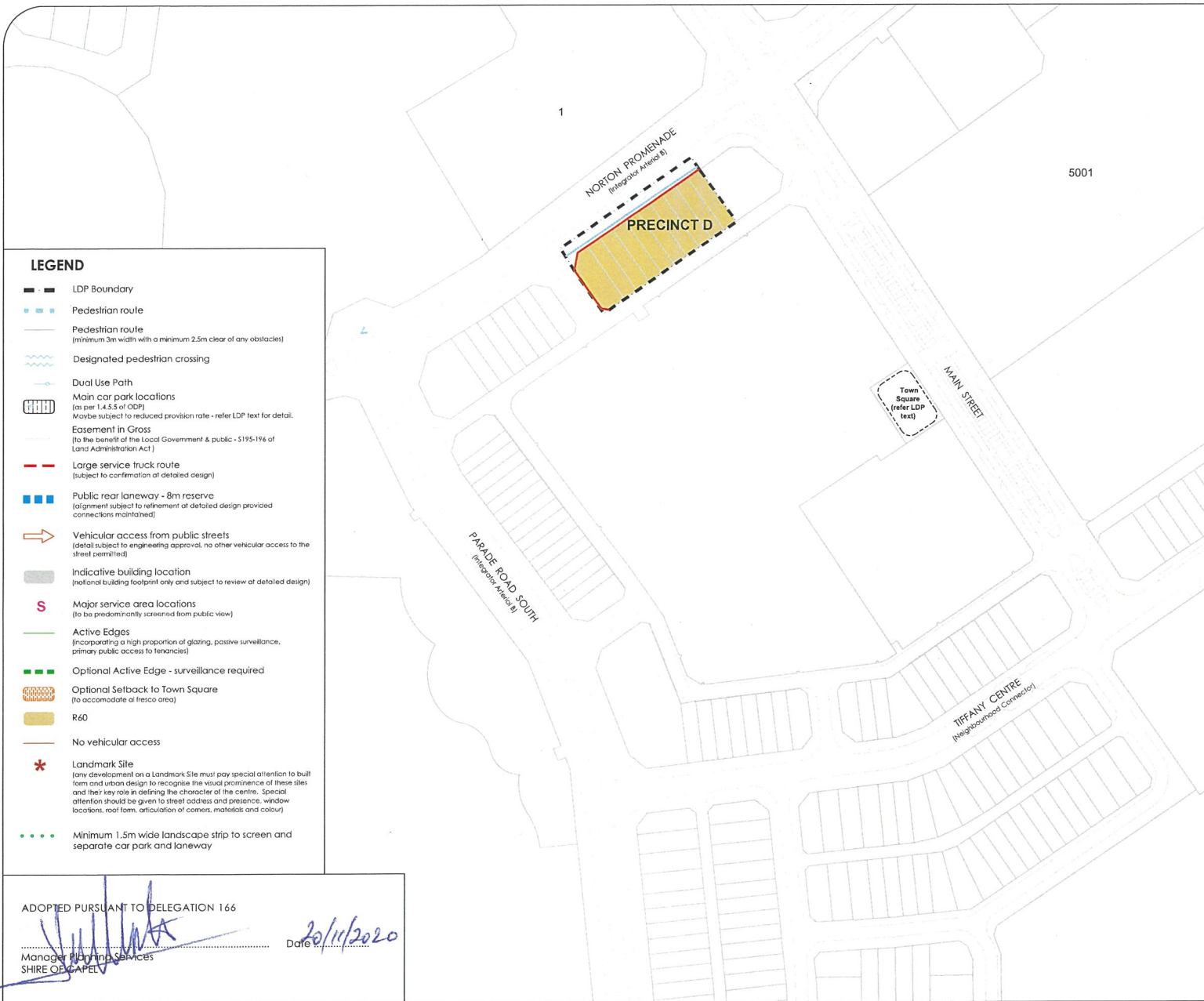
10. Double storey development only on identified lots, being Lots 6152, 6153, 6926, 6031 & 6034. The north facing boundary wall in Lot 6152 is to be clad in boarding.

Notes:
1. To be read in conjunction with the Dalyellup District Centre Outline

ADOPTED PURSUANT TO DELEGATION 166


Manager Planning Services
SHIRE OF CAPEL

Date: 17/11/2021



- LEGEND**
- LDP Boundary
 - Pedestrian route
 - Pedestrian route (minimum 3m width with a minimum 2.5m clear of any obstacles)
 - Designated pedestrian crossing
 - Dual Use Path
 - Main car park locations (as per 1.4.5.5 of ODP) Maybe subject to reduced provision rate - refer LDP text for detail.
 - Easement in Gross (to the benefit of the Local Government & public - S195-196 of Land Administration Act)
 - Large service truck route (subject to confirmation of detailed design)
 - Public rear laneway - 8m reserve (alignment subject to refinement at detailed design provided connections maintained)
 - Vehicular access from public streets (detail subject to engineering approval, no other vehicular access to the street permitted)
 - Indicative building location (notional building footprint only and subject to review at detailed design)
 - Major service area locations (to be predominantly screened from public view)
 - Active Edges (incorporating a high proportion of glazing, passive surveillance, primary public access to tenancies)
 - Optional Active Edge - surveillance required
 - Optional Setback to Town Square (to accommodate art fresco area)
 - R60
 - No vehicular access
 - Landmark Site (any development on a Landmark Site must pay special attention to built form and urban design to recognise the visual prominence of these sites and their key role in defining the character of the centre. Special attention should be given to street address and presence, window locations, roof form, articulation of corners, materials and colour)
 - Minimum 1.5m wide landscape strip to screen and separate car park and laneway

ADOPTED PURSUANT TO DELEGATION 166


 Manager Planning Services
 SHIRE OF CAPEL
 Date: 20/11/2020

- PRECINCT D**
- R-CODE VARIATIONS**
 Unless otherwise varied by this Local Development Plan (LDP), the provisions and requirements of the R-Codes for the R60 codings apply within Precinct D.
- This LDP operates in conjunction with the requirements of the R-Codes by applying additional controls or by varying "Deemed to Comply" requirements. Where this LDP varies any requirement of the R-Codes, compliance shall be deemed to constitute "Deemed to Comply" and neighbour consultation with respect to those items is not required.
- This LDP should also be read in conjunction with the development requirements of the Dalyellup East Local Structure Plan, the Dalyellup District Centre Outline Development Plan and the Shire of Capel Town Planning Scheme No 7.
- VEHICLE ACCESS RESTRICTION**
 1. Vehicle access restrictions are indicated by a red line on the Plan.
- PRIVATE OPEN SPACE/SITE COVER**
 2. The following concessions apply to residential lots less than 550m² in area:
 - The minimum open space required is 25% of the site.
 3. This concession is subject to the provision for an outdoor living area directly accessible from an internal living area and which:
 - Has a minimum useable space of 24m².
 - Has a minimum dimension of 4.0m.
 4. Permanent cover up to a maximum of two thirds of the outdoor living area is permitted.
- SETBACKS**
 5. Setbacks apply as per the requirements of the R-Codes except:
 - The minimum primary street setback is 3.0m, except to a porch or verandah which is 2.0m
 - The minimum building setback to a dwelling (excluding garage) to a laneway is 1.0m
- BOUNDARY WALLS**
 6. Boundary walls are permitted to both side boundaries (excluding secondary street boundaries other than laneways), providing these are behind the minimum front setback and within the following limits:
- | Description | Table 1 | |
|--------------------------|------------------|------------------|
| | Max. Wall Height | Max. Wall Length |
| Dwelling - Single Storey | 3.5m | No Limit |
| Dwelling - Two Storey | 6.5m | 15m |
- Notes:
 * Height to be measured from Natural Ground Level.
 * For dwellings with a pitched roof, the height of walls on side boundaries may be increased to the top of the ridge line where this runs parallel to the front boundary and abuts a similarly configured wall or secondary street.
7. For dwellings with a pitched roof the height of walls on the side boundaries may be increased to the top of the ridge line where the ridge line runs generally parallel to the front boundary and abuts a similarly configured wall or the secondary street.
- OVERSHADOWING**
 8. The Overshadowing provisions of the R Codes do not apply.
- BUILDING DESIGN**
 9. Front elevations to buildings shall include:
 - A minimum of 2 colours and 2 materials;
 - A minimum 33c ceilings to the front elevation; and
 - At least two architectural features.

- Notes:**
- To be read in conjunction with the Dalyellup District Centre Outline Development Plan (DDCOOP), particularly Clause 1.3, 1.4, & 1.7, and the LDP text. In Precinct D notwithstanding any other provision of the Outline Development Plan or this LDP, development is subject to compliance with the Building Code of Australia (BCA) including equal access and fire rating requirements. Additional requirements will generally apply where non-residential floorspace exceeds 10% of the floor area of any storey and so requiring reclassification of the building under the BCA.
 - Council shall require as a condition of approval that owners provide for unfettered movement of pedestrians and vehicles across lot boundaries on routes designated on this plan. Where subdivision is proposed, this may require the provision of Easements in Gross in accordance with clause 1.1 of the LDP text.
 - Signage and landscaping of individual sites shall accord with the overall centre strategies required under clause 1.3.6.1 (g) of the Dalyellup District Centre Outline Development Plan.