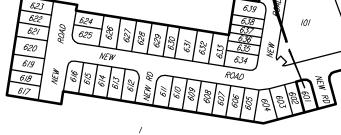


29 RP24410

SP293716

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- (2) This plan shows details of Proposed Allotment 601 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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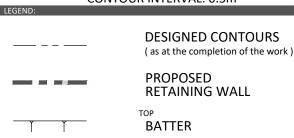


LOT 601

NORTH

LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



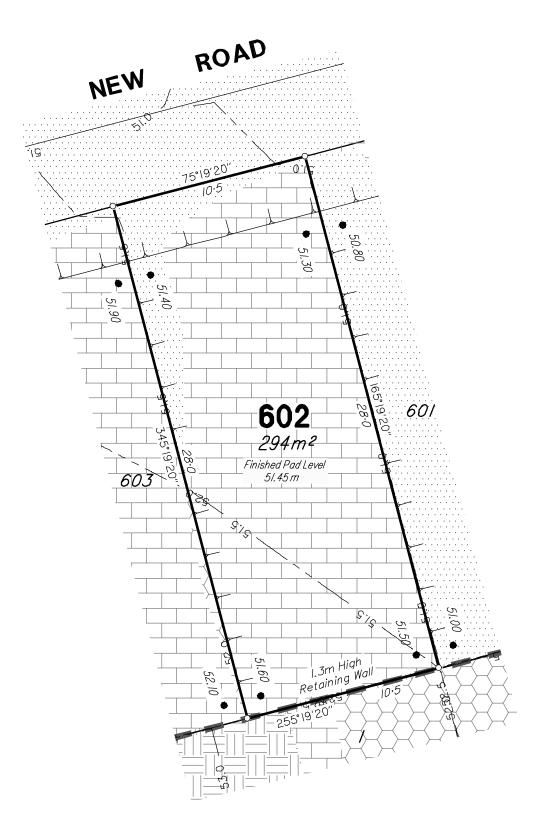
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 TREATICONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

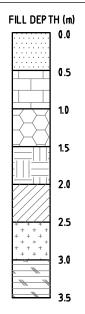
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

37 B B3742S 6 1 OF 41

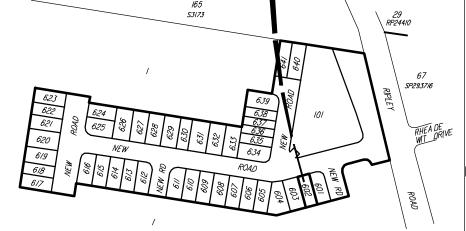
B3742-37B_Stg 6 Disclosure.dwg 29th January 2021





IMPORTANT NOTES

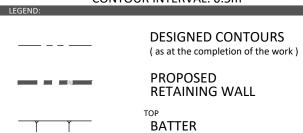
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 602 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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LOT 602

NORTH

LOCATION DIAGRAM CONTOUR INTERVAL: 0.5m



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PLANNERS

BRISBANE - JFP House
76 Ernest Street,
South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

ENGINEERS

LANDSCAPI

LANDSCAPI

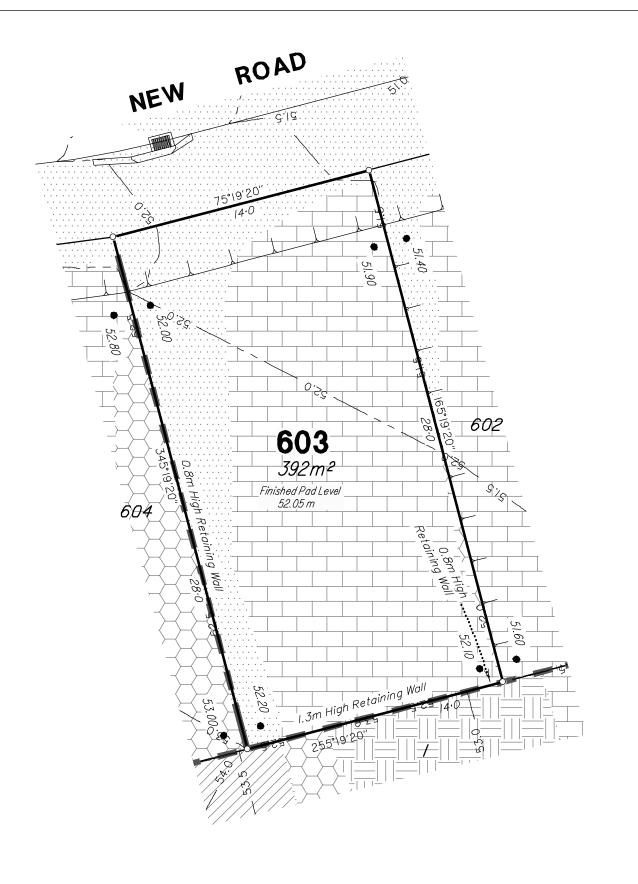
PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

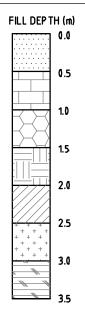
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| | DRAWN | RK | APPROVED | MTF | ORIGIN (BM) | PM581 | 30 RL 54. | 763m | ISSUE: | DETAILS: | DATE: | INIT: | 4 |
| | | | | | | | | | | | | COPYRIGHT © : | 2017 JF |

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:
PROJECT: PLAN: ISSUE
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2 OF 41
FILE:
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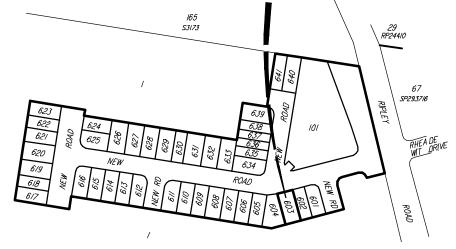
B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021





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- (2) This plan shows details of Proposed Allotment 603 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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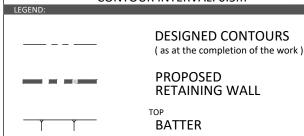


LOT 603



LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



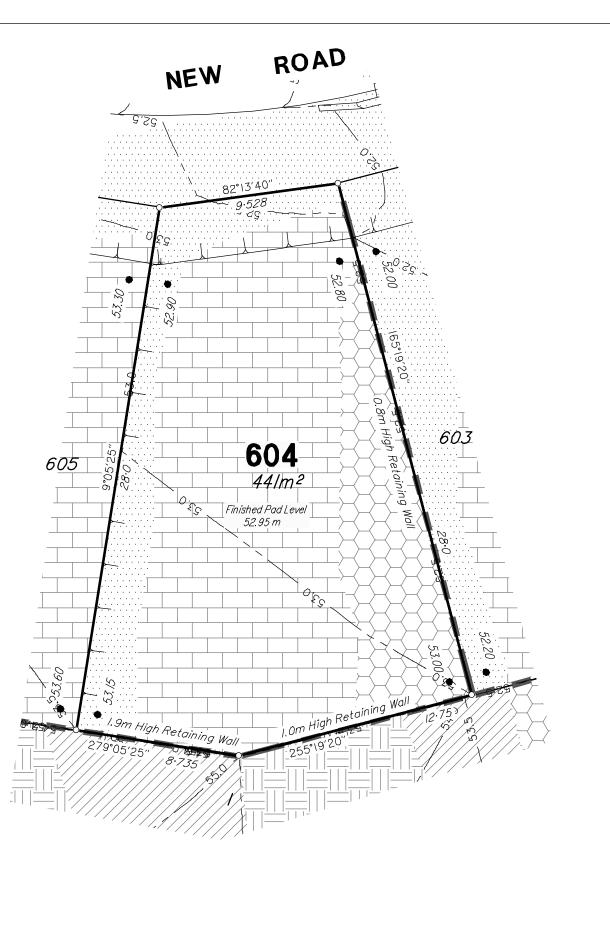
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECTS TREATIC ON SULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

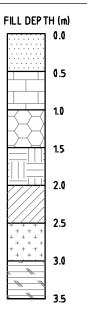
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| DRAWN | RK | APPROVED | MTF | ORIGIN (BM) | PM581 | .30 RL 54.7 | 763m | ISSUE: | DETAILS: | DATE: | INIT: | 45 |
| | | | | | | | | | | | COPYRIGHT © 2 | 2017 JFP |

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B3742S 6 37 B 3 OF 41

B3742-37B_Stg 6 Disclosure.dwg





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- (2) This plan shows details of Proposed Allotment 604 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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LOCATION DIAGRAM

RK APPROVED MTF ORIGIN (BM) PM58130 RL 54.763m

CONTOUR INTERVAL: 0.5m

SP293716

29 RP24410

LOT 604

DESIGNED CONTOURS (as at the completion of the work)

PROPOSED RETAINING WALL

BATTER

SCALE: @ A3 1:200 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE) 29-01-21 DWW SURVEYED | JFP | CHECKED | RP | DATUM AHD

ISSUE: DETAILS:

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

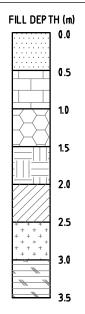
37 B B3742S 6 4 OF 41 B3742-37B_Stg 6 Disclosure.dwg

29th January 2021

ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 TREATIC ON SULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

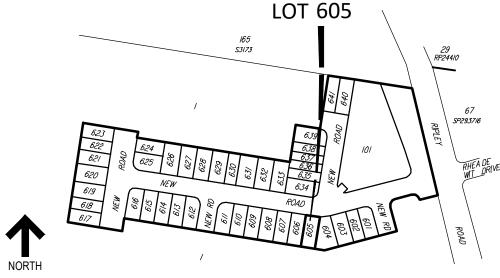
NEW ROAD 606 605 350m2 Finished Pad Level 53.50 m 2.0m High Retaining Wall

DESIGNED FILL DEPTHS



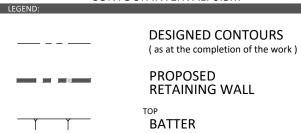
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- (2) This plan shows details of Proposed Allotment 605 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m

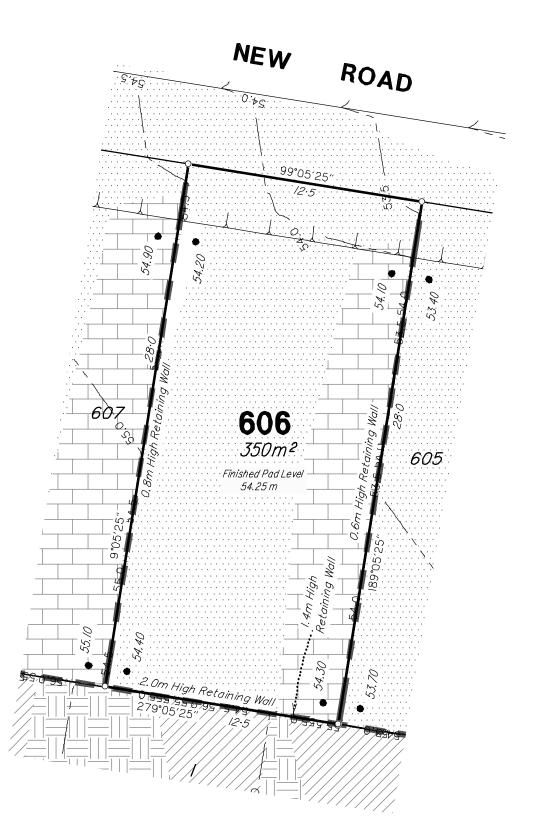


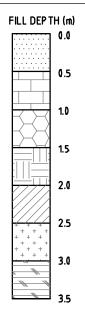
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECT URBAN CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

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| DRAWN | RK | APPROVED | MTF | ORIGIN (E | 3M) PM5813 | 30 RL 54.7 | '63m | ISSUE: | DETAILS: | DATE: | INIT: | 45 |
| | | | | | | | | | | | COPYRIGHT © 2 | 017 IFP U |

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

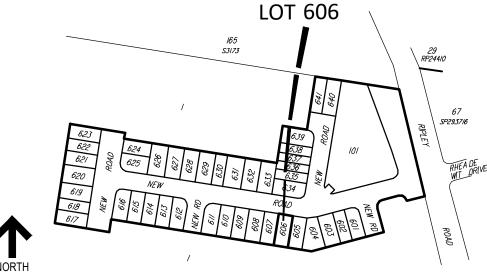
37 B B3742S 6 5 OF 41 B3742-37B_Stg 6 Disclosure.dwg





IMPORTANT NOTES

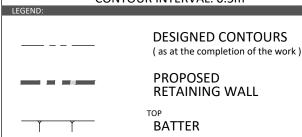
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 606 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m

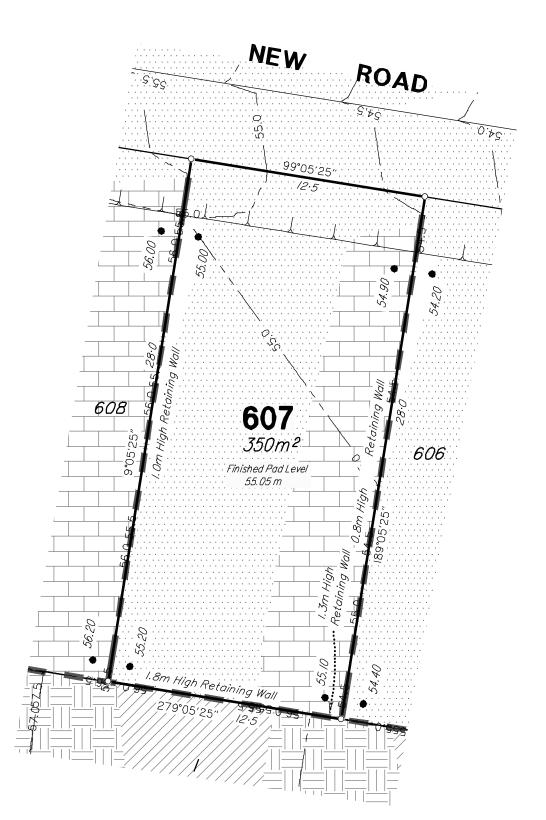


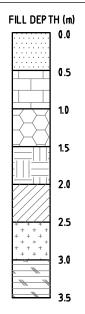
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECTS URBAN CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

| | SCALE: | | | | | | | | ISSUES | : | | | TITL |
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

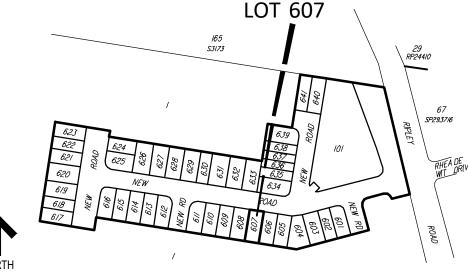
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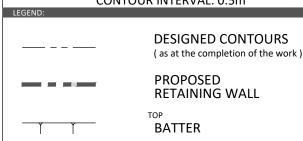
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- (2) This plan shows details of Proposed Allotment 607 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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LOCATION DIAGRAM CONTOUR INTERVAL: 0.5m



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PLANNERS

BRISBANE - JFP House
TO Ernest Street,
South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

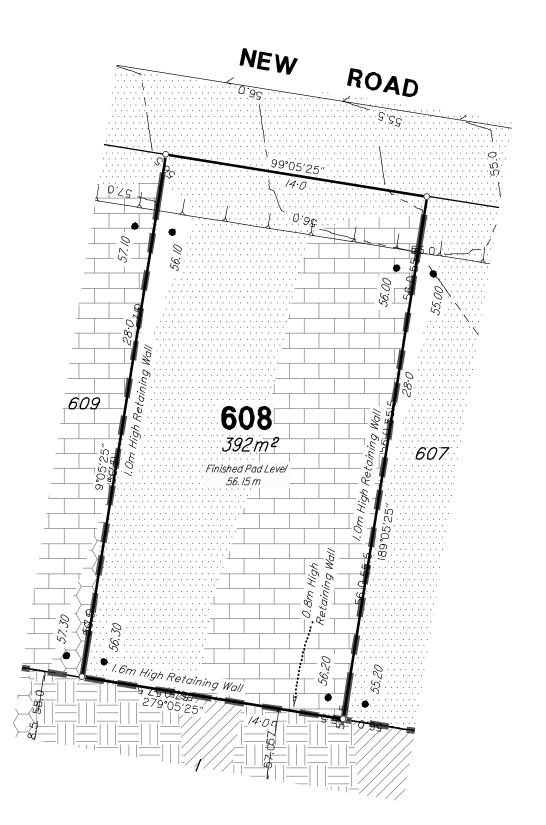
BRISBANE - JFP House
TO BRISBANE - SUNSHINE COAST - CENTRAL QLD
PLANNERS
SURVEYORS
ENGINEERS
TO SULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

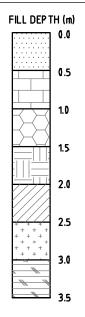
LANDSCAPE ARCHITECT

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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

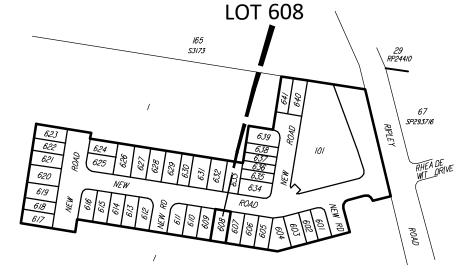
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IMPORTANT NOTES

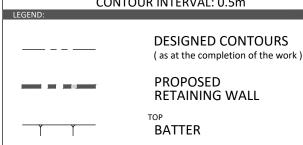
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 608 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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NORTH

LOCATION DIAGRAM

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BRISBANE - SUNSHINE COAST - CENTRAL QLD
PLANNERS

BRISBANE - JFP House
76 Ernest Street,
South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

LANDSCAPE ARCHITECT

| SCALE: | | | | | | | | ISSUES | : | | | TITLI |
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| l | | N IS ORIGINAI | | | | | | | | | | SA |
| DO NOT SCALE FI | ROM THIS | DRAWING - USE C | NLY DIM | ENSIONS PROVID | DED - IF IN DOUB | T PLEASE ENQ | UIRE | | | | | |
| SURVEYED | JFP | CHECKED | RP | DATUM A | AHD | | | В | ENGINEERING AMENDMENTS | 29-01-21 | DWW | RI |
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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

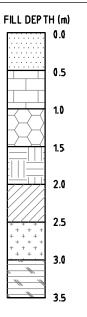
DETAILS:
PROJECT: PLAN: ISSUE
B3742S_6 37 B
SHEET: 8 OF 41
FILE:
B3742-37B_Stg 6 Disclosure.dwg

B3742-37B_Stg 6 Disclosure.dwg

DATE:
29th January 2021

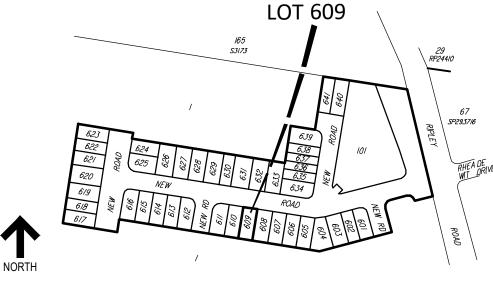
NEW ROAD 609 350m² 608 Finished Pad Level 57.25 m 1.5m High Retaining Wall

DESIGNED FILL DEPTHS



IMPORTANT NOTES

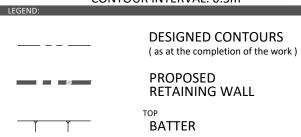
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 609 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m

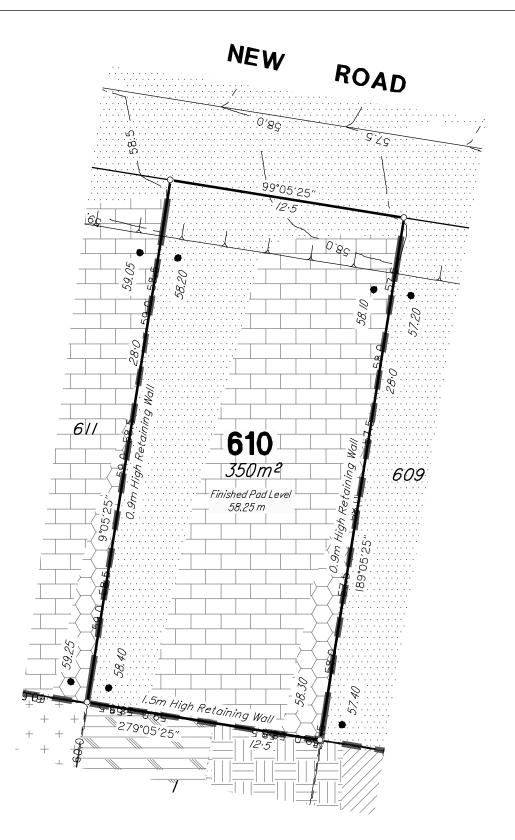


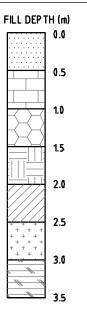


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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

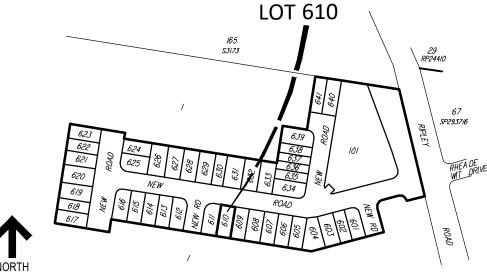
37 B B3742S 6 9 OF 41 B3742-37B_Stg 6 Disclosure.dwg





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- (2) This plan shows details of Proposed Allotment 610 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



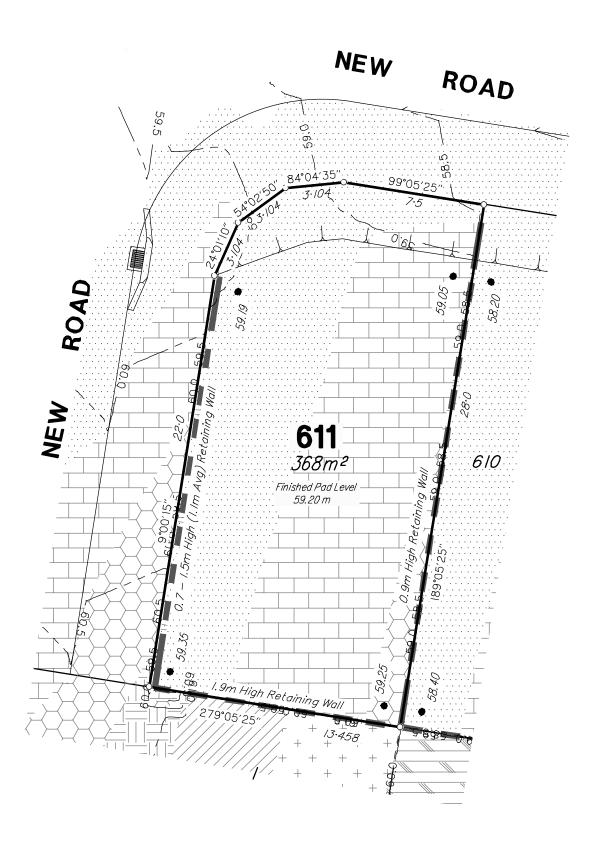
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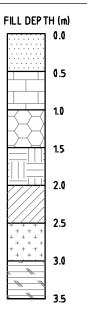
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 TREATIC ON SULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

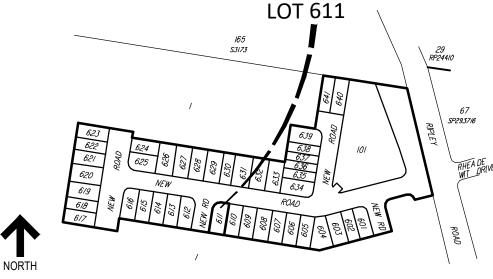
37 B B3742S 6 10 OF 41 B3742-37B_Stg 6 Disclosure.dwg





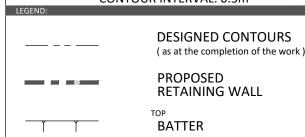
IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 611 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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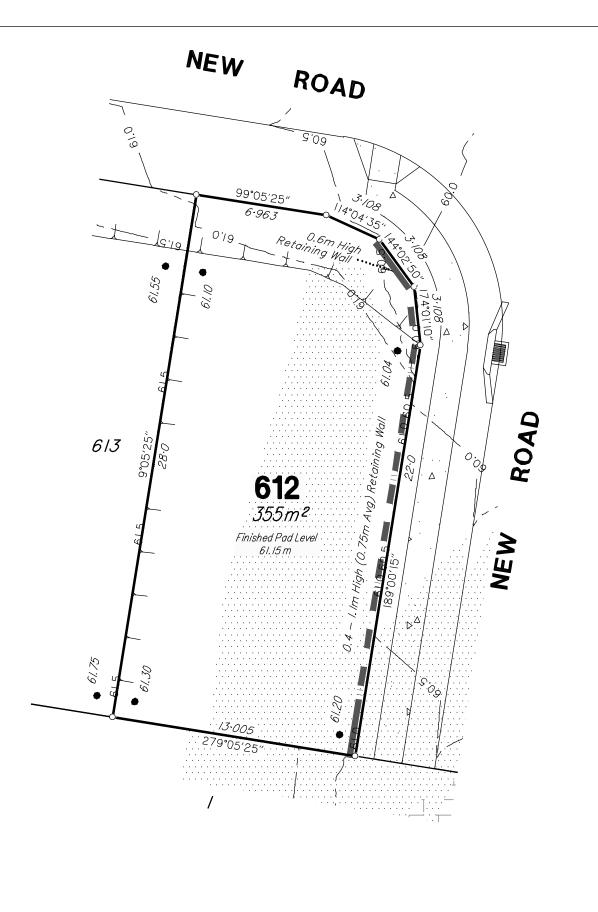


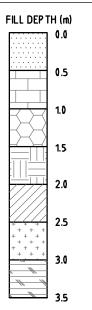
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECTS TREATIC ON SULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

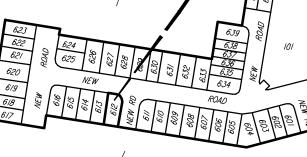
37 B B3742S 6 11 OF 41 B3742-37B_Stg 6 Disclosure.dwg





IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 612 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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53173

LOT 612

NORTH

LOCATION DIAGRAM

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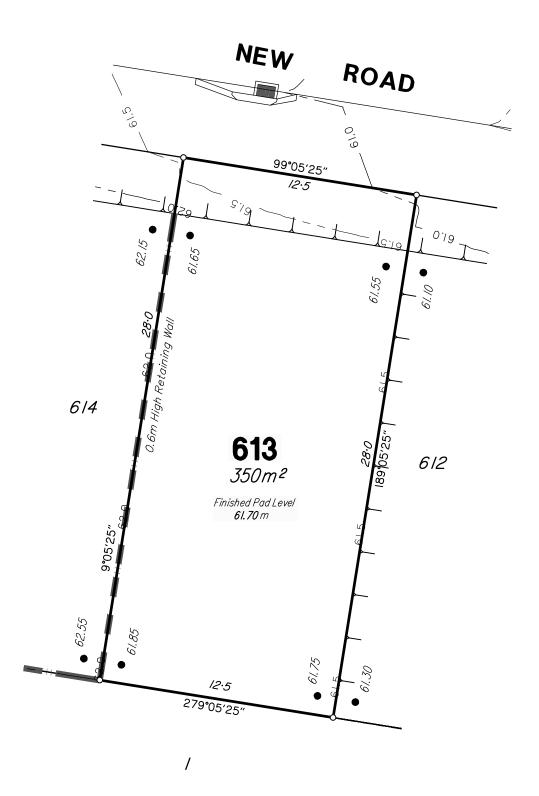
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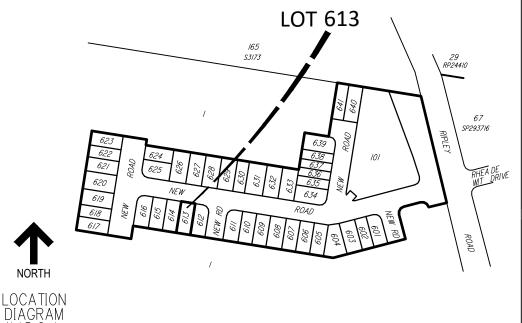
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

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37 B B3742S 6 12 OF 41 B3742-37B_Stg 6 Disclosure.dwg



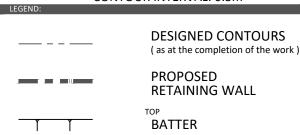


16-02-21 DWW

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- (2) This plan shows details of Proposed Allotment 613 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these
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ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS JRBAN DESIGNER h Brisbane, Old. 4101

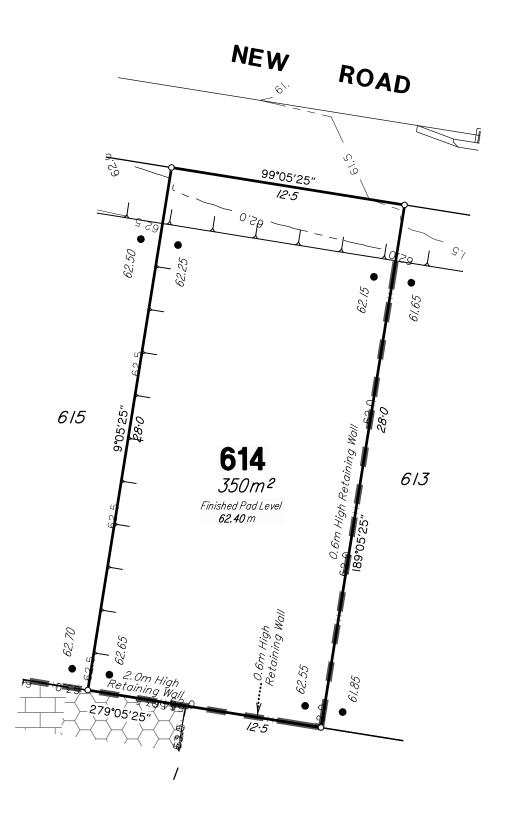


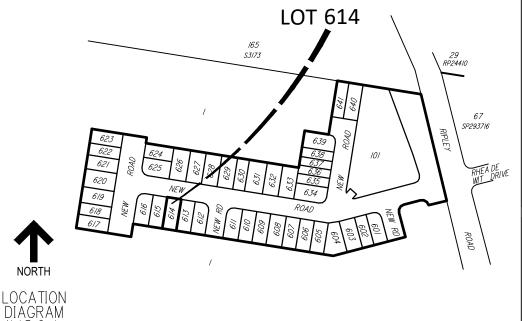
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

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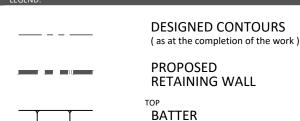
16th February 2021





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- (2) This plan shows details of Proposed Allotment 614 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS JRBAN DESIGNERS h Brisbane, Old. 4101

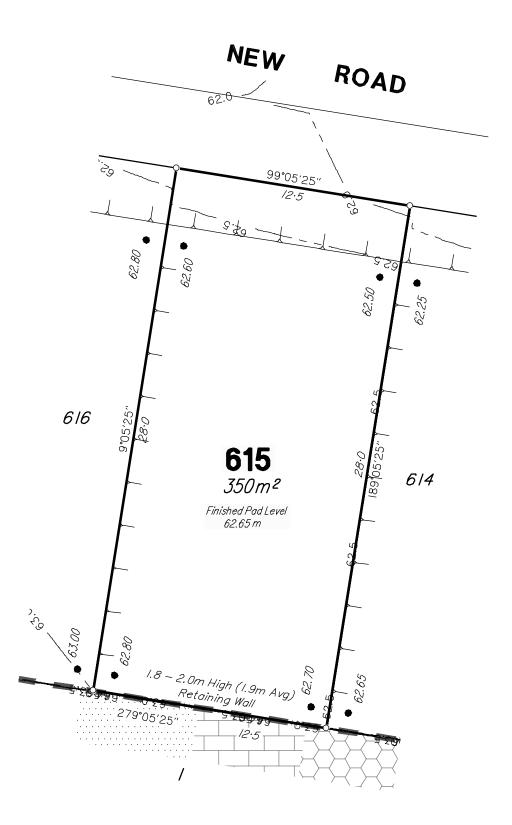


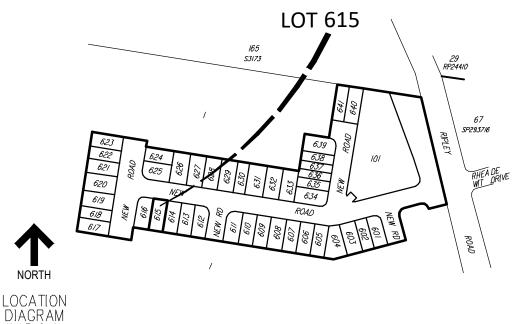
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

B3742S 6 37 C 14 OF 41 B3742-37B_Stg 6 Disclosure.dwg

16th February 2021





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- (2) This plan shows details of Proposed Allotment 615 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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CONTOUR INTERVAL: 0.5m



BRISBANE - SUNSHINE COAST - CENTRAL QLD

BRISBANE - JFP House

The Enest Street, Surveyors

Fourth Brisbane, Qld. 4101

TEL: 07 3012 0100 www.jfp.com.au

TEL: 07 3012 0100 www.jfp.com.au

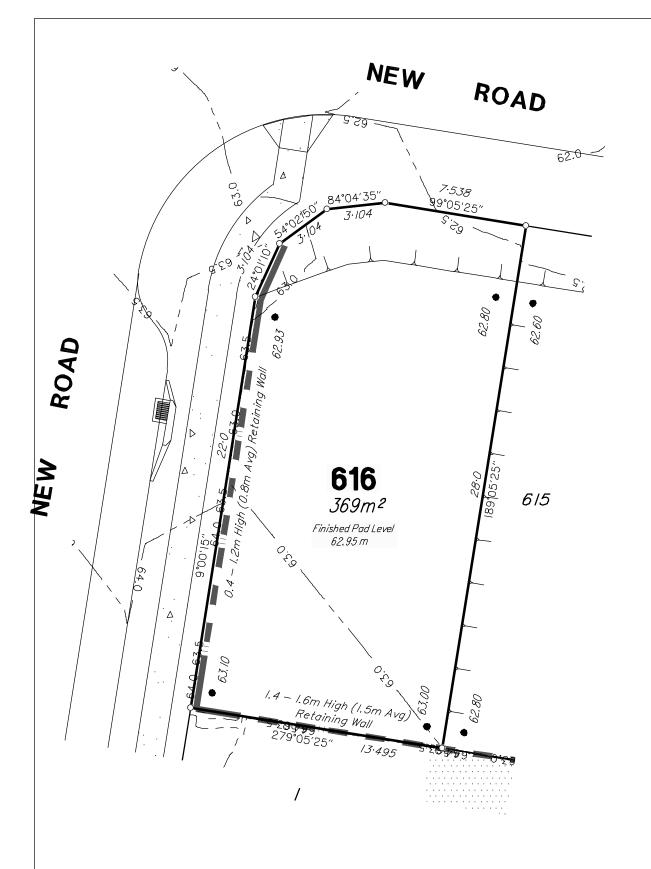
LANDSCAPE ARCHITECTS

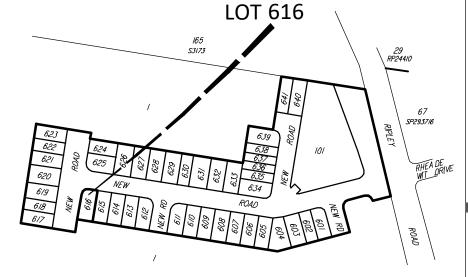
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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

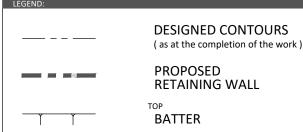
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SHEET:
15 OF 41
FILE:
B3742-37B_Stg 6 Disclosure.dwg





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BRISBANE - SUNSHINE COAST - CENTRAL QLD

BRISBANE - JFP House

The Enest Street, Surveyors

Fourth Brisbane, Qld. 4101

TEL: 07 3012 0100 www.jfp.com.au

TEL: 07 3012 0100 www.jfp.com.au

LANDSCAPE ARCHITECTS

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| | SCALE: | _ | | | | | | | ISSUES | | | | TIT |
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NORTH

LOCATION DIAGRAM

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

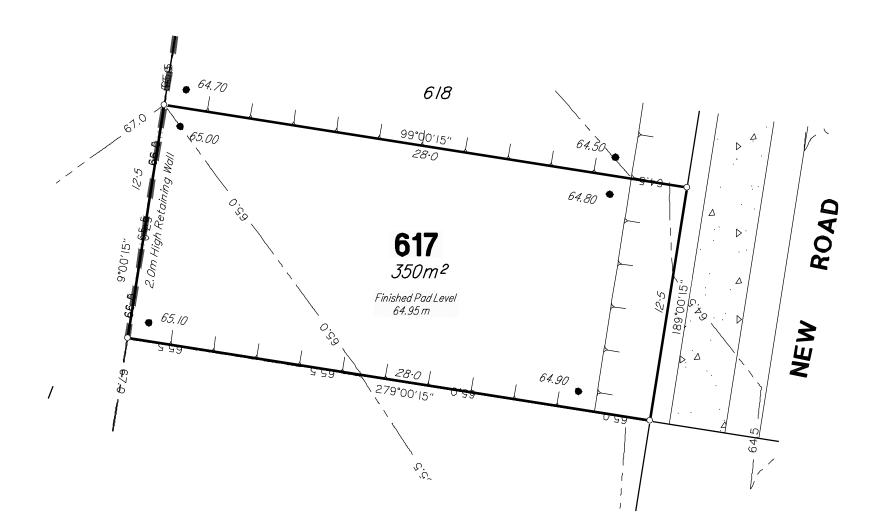
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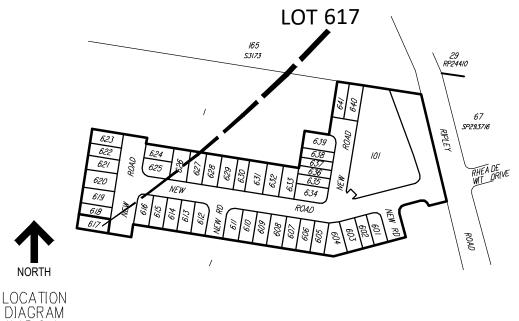
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SHEET:

16 OF 41

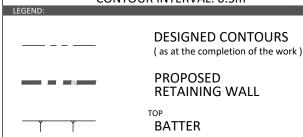
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B3742-37B_Stg 6 Disclosure.dwg





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- (2) This plan shows details of Proposed Allotment 617 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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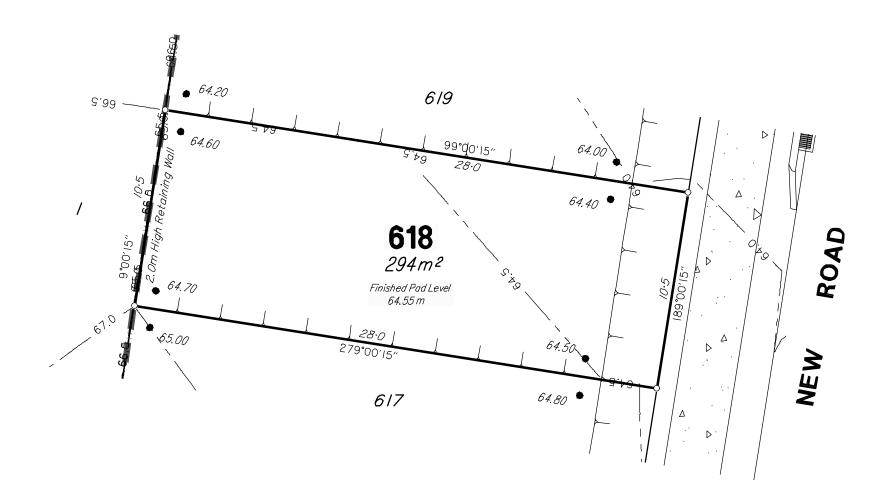


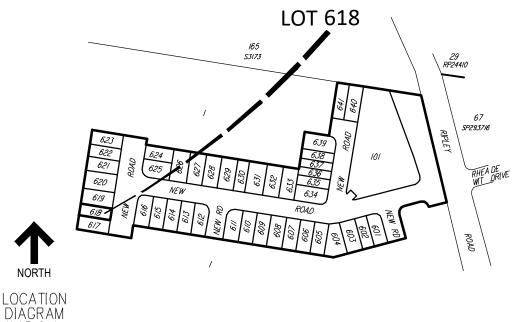


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DISCLOSURE PLAN
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RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

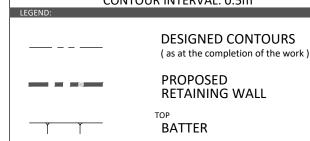
DETAILS:
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B3742S_6 37 B
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17 OF 41
FILE:
B3742-37B_Stg 6 Disclosure.dwg





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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

LANDSCAPE ARCHITECTS

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RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

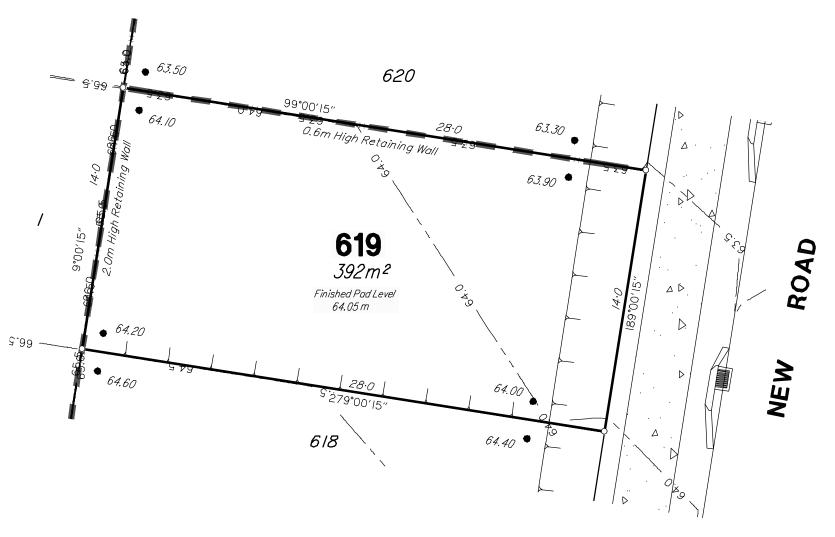
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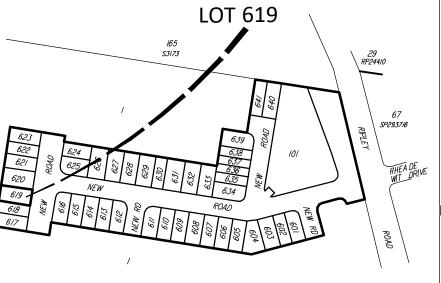
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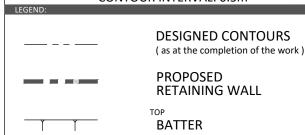
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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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Fourth Brisbane, Qld. 4101

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LANDSCAPE ARCHITECTS

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NORTH

LOCATION DIAGRAM

DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

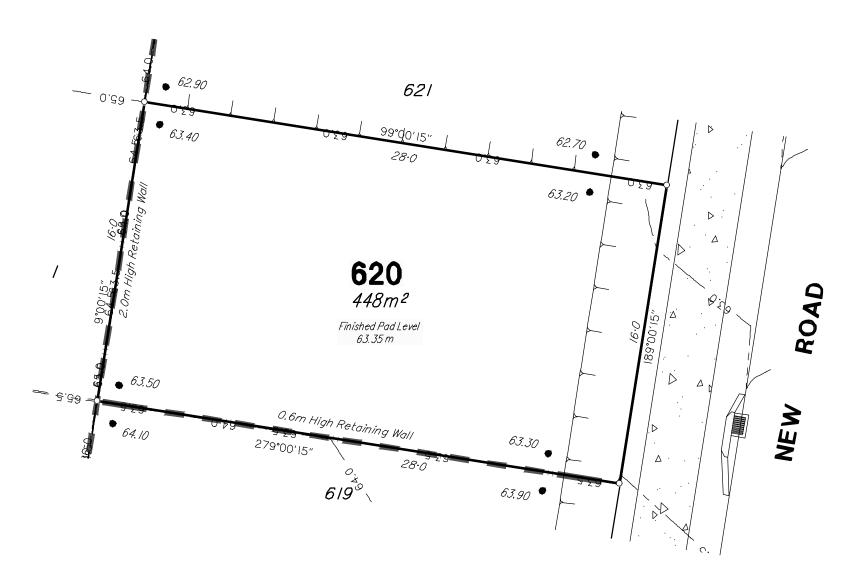
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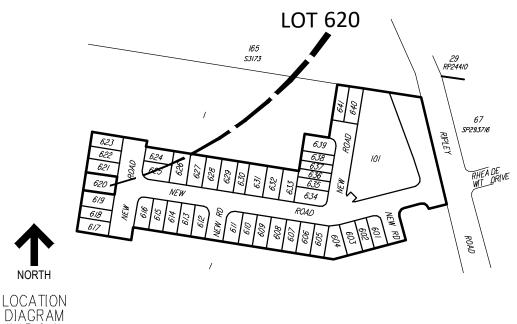
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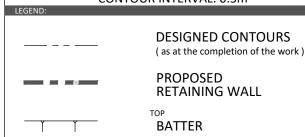
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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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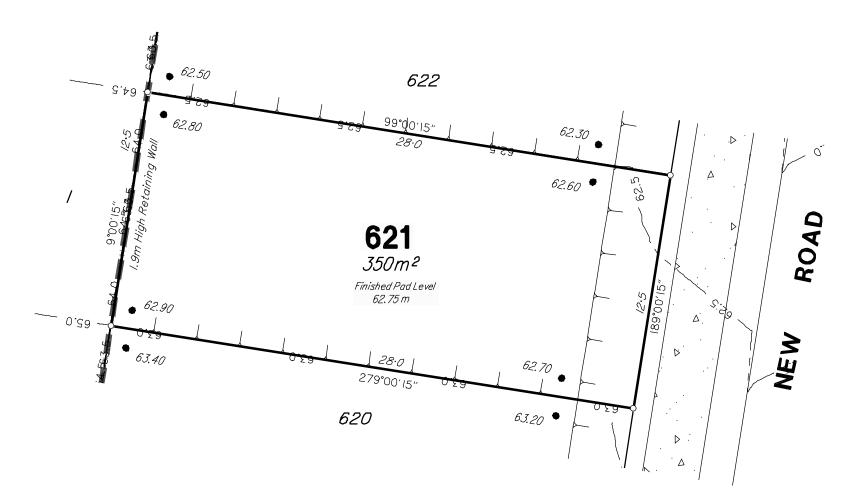
TEL: 07 3012 0100 www.jfp.com.au

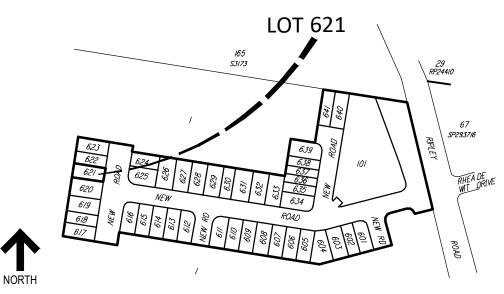
LANDSCAPE ARCHITECTS

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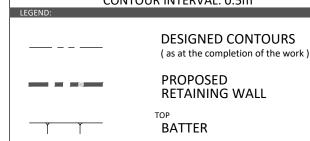
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY





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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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ENGINEERS
LANDSCAPE ARCHITECT
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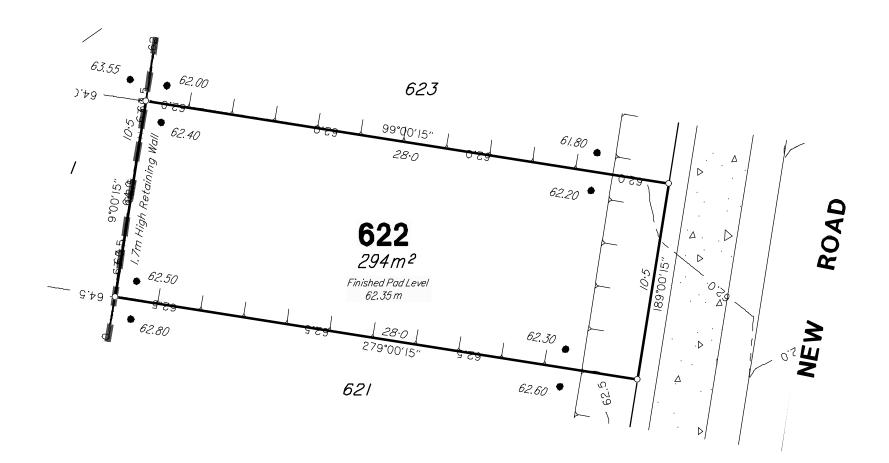
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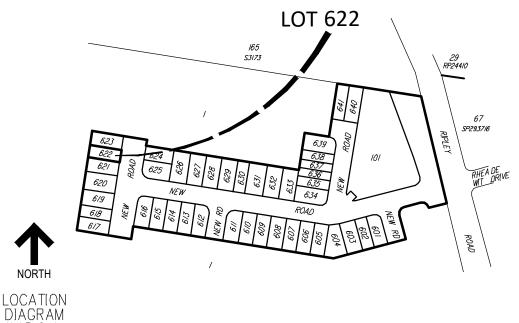
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

B3742S_6 SHEET: 21 OF 41 FILE:

B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021

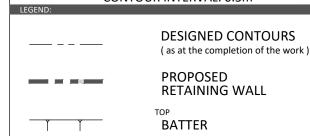
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BRISBANE - JFP House
VIRBAN DESIGNERS
SURVEYORS
ENGINEERS

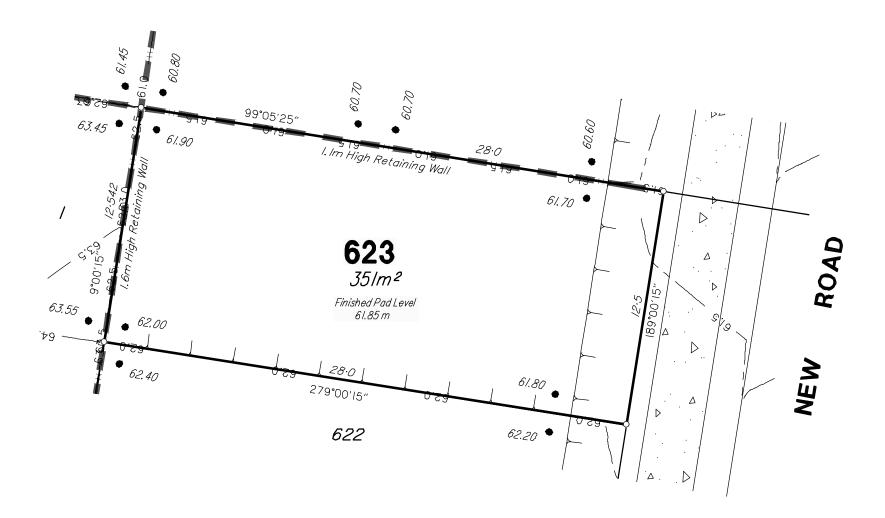
LANDSCAPE ARCHITECTS

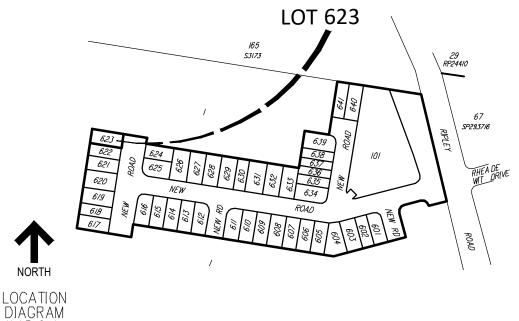
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RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

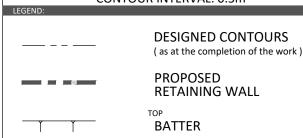
DETAILS:
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22 OF 41
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B3742-37B_Stg 6 Disclosure.dwg





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BRISBANE - JFP House
VIRBAN DESIGNERS
SURVEYORS
ENGINEERS

LANDSCAPE ARCHITECT

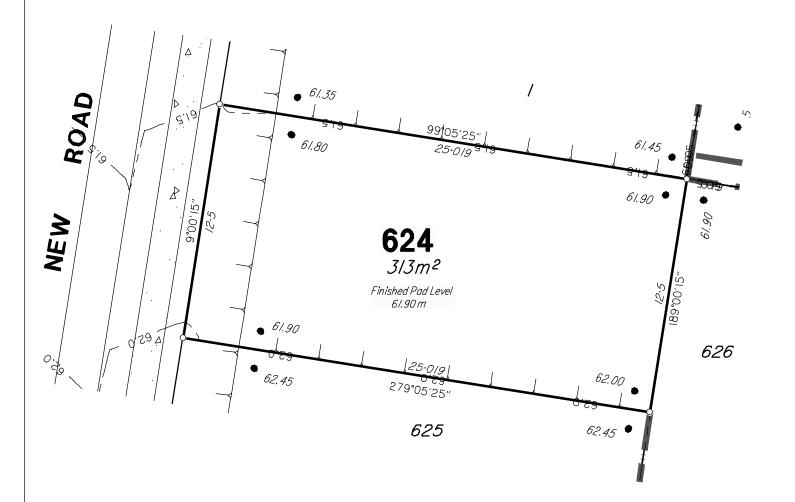
LANDSCAPE ARCHITECT

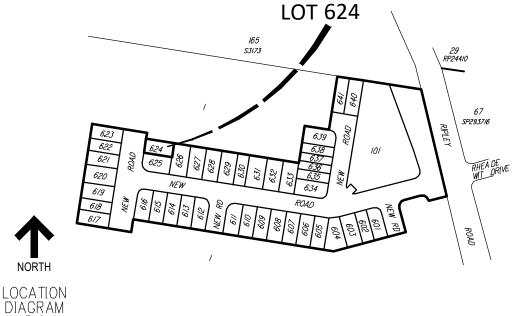
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SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

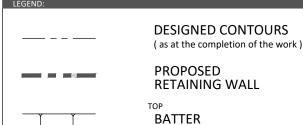
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ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 URBAN CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

URBAN DESIGNERS

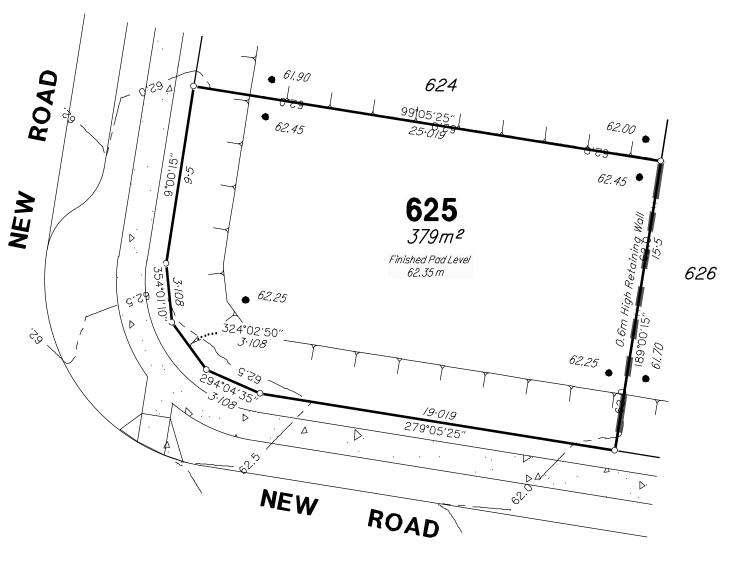
LANDSCAPE ARCHITECTS

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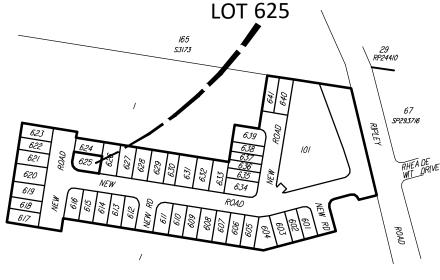
NORTH

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

B3742S 6 37 B 24 OF 41 B3742-37B_Stg 6 Disclosure.dwg



- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 625 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



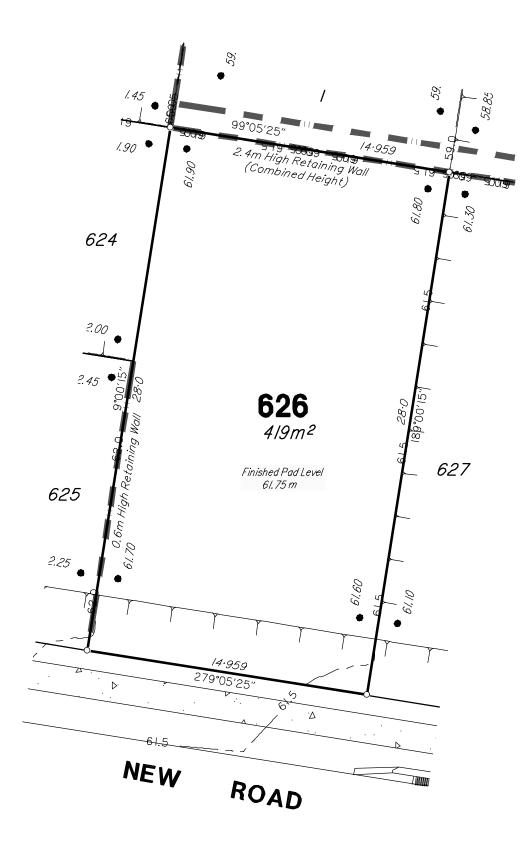
BATTER

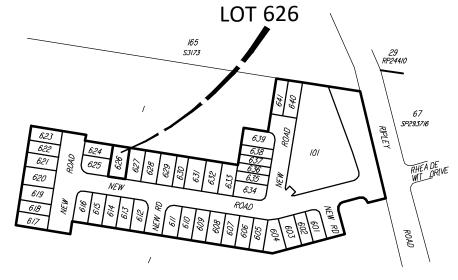
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS URBAN DESIGNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECT JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

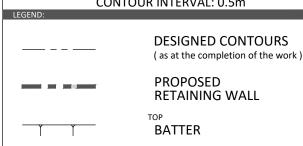
B3742S_6 37 B 25 OF 41 B3742-37B_Stg 6 Disclosure.dwg





- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 626 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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CONTOUR INTERVAL: 0.5m



ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 LANDSCAPE ARCHITECTS URBAN CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

| | SCALE: | | | | | | | | ISSUES | | | | ΤI |
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NORTH

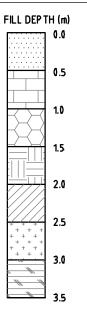
LOCATION DIAGRAM

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

B3742S_6 37 B 26 OF 41 B3742-37B_Stg 6 Disclosure.dwg

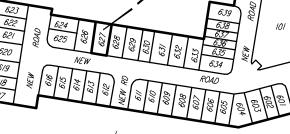
2.5m High Retaining Wall (Combined Height) 626 627 392m² Finished Pad Level 628 61.15 m NEW ROAD

DESIGNED FILL DEPTHS



IMPORTANT NOTES

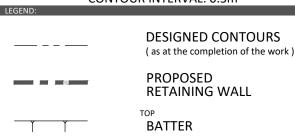
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 627 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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165 53173 **LOT 627**

NORTH

LOCATION DIAGRAM CONTOUR INTERVAL: 0.5m



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PLANNERS

BRISBANE - JFP House
76 Ernest Street,
South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

ENGINEERS

LANDSCAPI

LANDSCAPI

PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

| SCALE: | | | | | | | ISSUES | : | | | TIT |
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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

SP293716

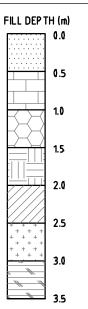
B3742S_6 SHEET: 27 OF 41

B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021

37 B

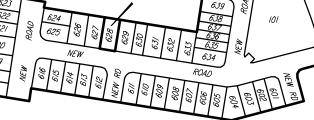
2.4m High Retaining Wall (Combined Height) 627 628 390m² Finished Pad Level 629 60.45 m NEW ROAD

DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 628 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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53173

LOT 628

NORTH

LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD

SP293716

B3742S 6 28 OF 41

B3742-37B_Stg 6 Disclosure.dwg 29th January 2021

37 B

ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS

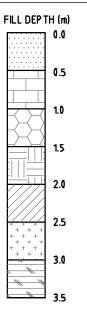
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h Brisbane, Old, 4101 : 07 3012 0100 www.jfp.com.au TREATICONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

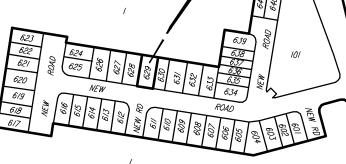
5m High Retaining Wall (Combined Height) 628 629 392m² Finished Pad Level 630 59.60 m NEW ROAD

DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 629 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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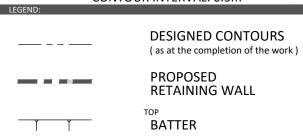


53173

LOT 629



LOCATION DIAGRAM CONTOUR INTERVAL: 0.5m



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PLANNERS

BRISBANE - JFP House
76 Ernest Street,
50th Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

CONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

LANDSCAPE ARCHITECT

No.

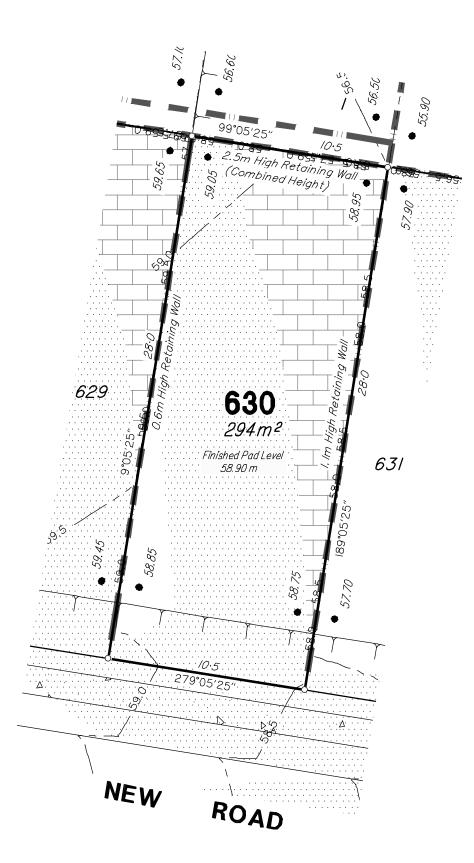
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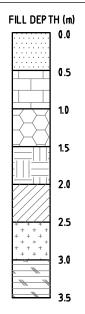
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

SP293716

DETAILS:
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SHEET:
29 OF 41
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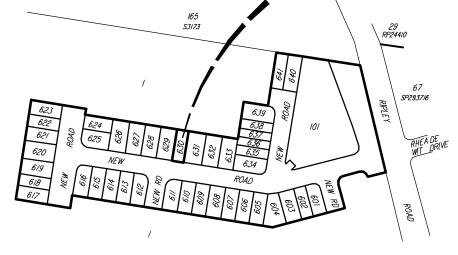
B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021





IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 630 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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LOT 630



LOCATION DIAGRAM

CONTOUR INTERVAL: 0.5m



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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD

30 OF 41

B3742-37B_Stg 6 Disclosure.dwg 29th January 2021

B3742S 6

37 B

SCALE: @ A3 1:200 SURVEYED JFP CHECKED

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE) 29-01-21 DWW RP DATUM AHD RK APPROVED MTF ORIGIN (BM) PM58130 RL 54.763m ISSUE: DETAILS:

TREATICONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

h Brisbane, Old, 4101

ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS

RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

DESIGNED FILL DEPTHS IMPORTANT NOTES (1) This plan was produced for the exclusive use of FILL DEP TH (m) SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld). 0.5 (2) This plan shows details of Proposed Allotment 631 as described as part of Lot 52 on SP265858 1.0 situated in the Locality of Ripley, Ipswich City Council. 2.0m High Retaining Wall (3) All dimensions and areas are subject to final registration of the survey plan. 2.0 (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment 2.5 fill placed as part of these works. 3.0 (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval. (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable. 630 631 (7) Engineering design received from PEAK URBAN on the 3rd December 2020. 448m2 (8) Proposed Lot Layout taken from ROL plan Finished Pad Level B3742P_DA6 D1 J dated 1st December 2020. 632 57.75 m (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible. (10) This plan may not be reproduced unless these notes are included. LOT 631 165 53173 SP293716 NEW CONTOUR INTERVAL: 0.5m ROAD **DESIGNED CONTOURS** (as at the completion of the work) NORTH **PROPOSED RETAINING WALL** LOCATION DIAGRAM **BATTER** SCALE: @ A3 1:200 37 B **DISCLOSURE PLAN** B3742S 6 ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS 31 OF 41 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE) SATTERLEY PROPERTY GROUP PTY LTD h Brisbane, Old, 4101

SURVEYED JFP CHECKED

TREATICONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

RP DATUM AHD

RK APPROVED MTF ORIGIN (BM) PM58130 RL 54.763m

RIPLEY VALLEY-Stage 6

459 - 489 RIPLEY ROAD, RIPLEY

29-01-21

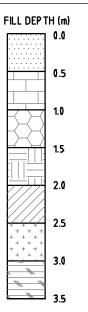
ISSUE: DETAILS:

DWW

B3742-37B_Stg 6 Disclosure.dwg

632 392m² Finished Pad Level 56.55 m 633 279°05′25′ NEW ROAD

DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 632 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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DESIGNED CONTOURS (as at the completion of the work)

> **PROPOSED RETAINING WALL**

BATTER

165 53173 SP293716

LOT 632

NORTH LOCATION DIAGRAM

ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS h Brisbane, Old, 4101 TREATICONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

SCALE: @ A3 1:200 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE) 29-01-21 DWW SURVEYED JFP CHECKED RP DATUM AHD RK APPROVED MTF ORIGIN (BM) PM58130 RL 54.763m ISSUE: DETAILS:

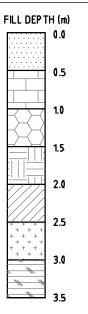
DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 459 - 489 RIPLEY ROAD, RIPLEY

37 B B3742S 6 32 OF 41

B3742-37B_Stg 6 Disclosure.dwg 29th January 2021

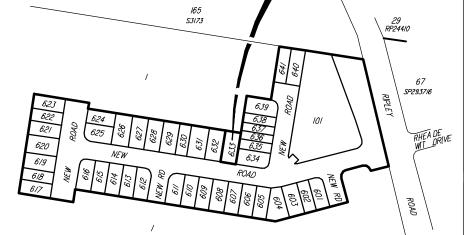
1.2m High Retaining Wall 636 · 52. 635 632 633 393m² Finished Pad Level 55.45 m NEW ROAD

DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 633 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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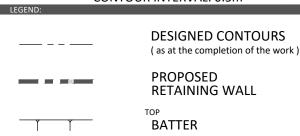
LOT 633

1

LOCATION DIAGRAM

NORTH

CONTOUR INTERVAL: 0.5m



BRISBANE - SUNSHINE COAST - CENTRAL QLD
PLANNERS

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South Brisbane, Qld. 4101
TEL: 07 3012 0100 www.jfp.com.au

ENGINEERS

LANDSCAPI

LANDSCAPI

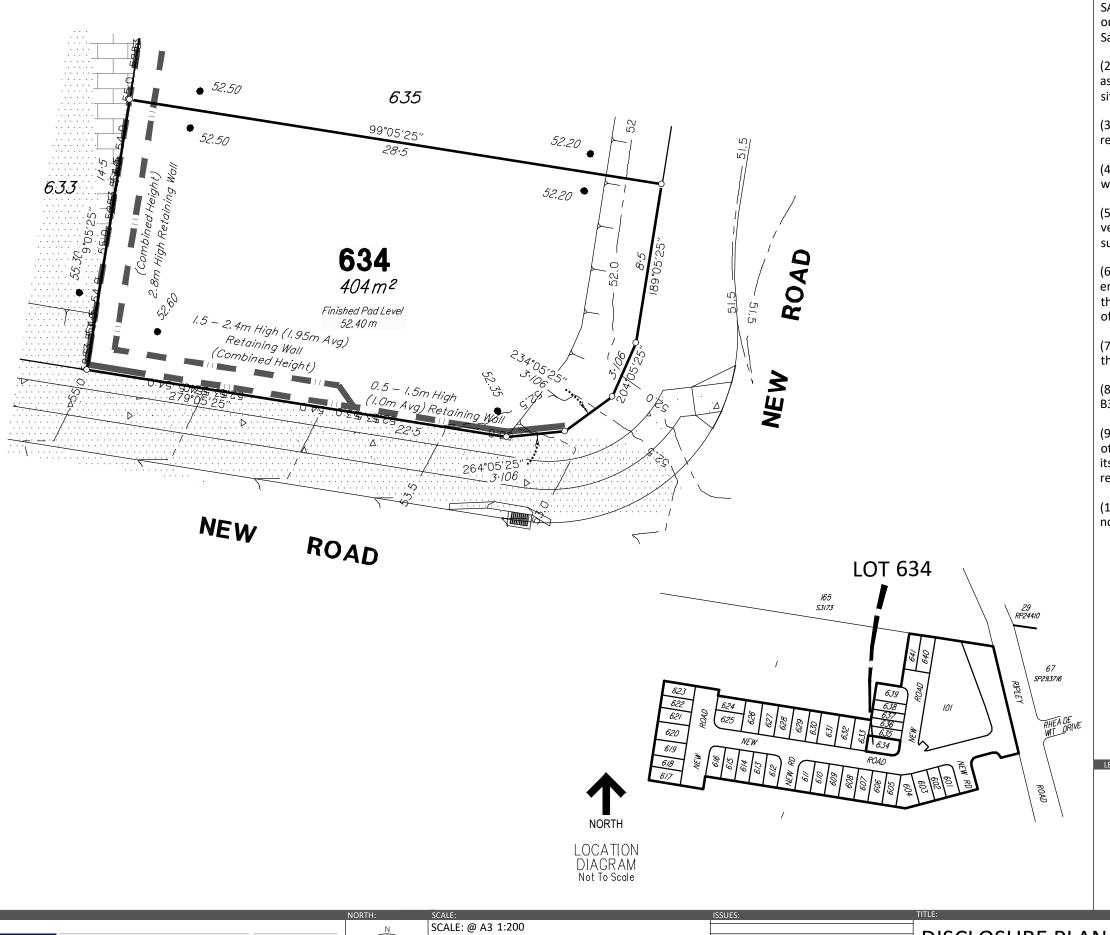
PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECTS

| | SCALE: | | | | | | | | ISSUES | : | | | TIT |
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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
459 - 489 RIPLEY ROAD, RIPLEY

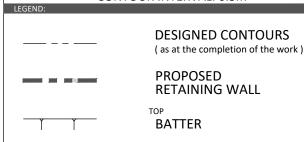
B3742S_6 37 B
SHEET:
33 OF 41
FILE:

B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021



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- (2) This plan shows details of Proposed Allotment 634 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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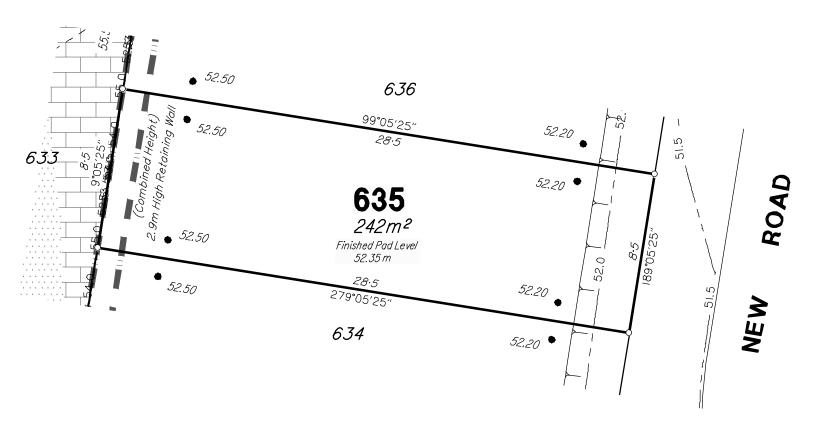
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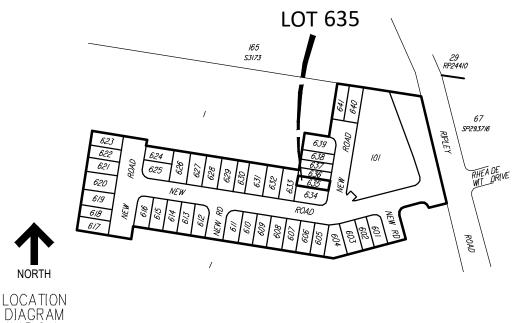
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6

B3742S_6 SHEET: 34 OF 41

B3742-37B_Stg 6 Disclosure.dwg
DATE:
29th January 2021

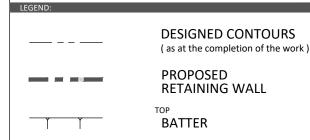
37 B





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- (2) This plan shows details of Proposed Allotment 635 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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BRISBANE - JFP House
VIRBAN DESIGNERS
SURVEYORS
ENGINEERS

LANDSCAPE ARCHITECTS

NOM.

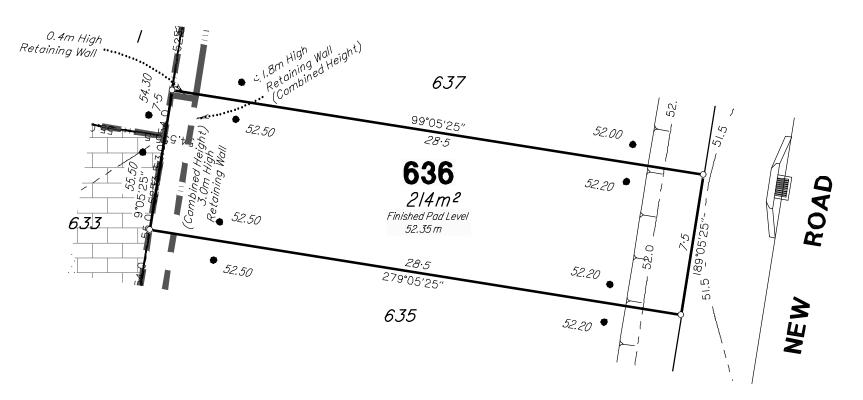
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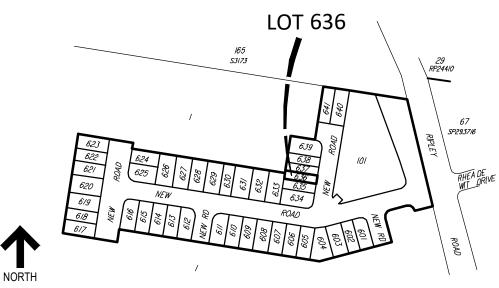
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

DETAILS:
PROJECT:

B3742S_6
35 OF 41

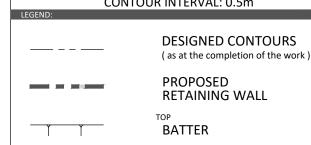
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B3742-37B_Stg 6 Disclosure.dwg





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- (2) This plan shows details of Proposed Allotment 636 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (8) Proposed Lot Layout taken from ROL plan B3742P_DA6 D1 J dated 1st December 2020.
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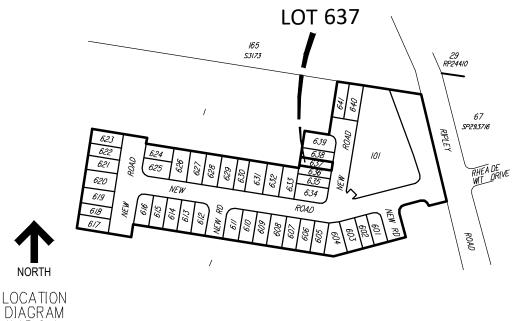
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LOCATION DIAGRAM

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

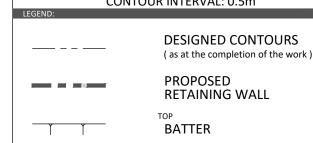
B3742S_6 37 B 36 OF 41 B3742-37B_Stg 6 Disclosure.dwg





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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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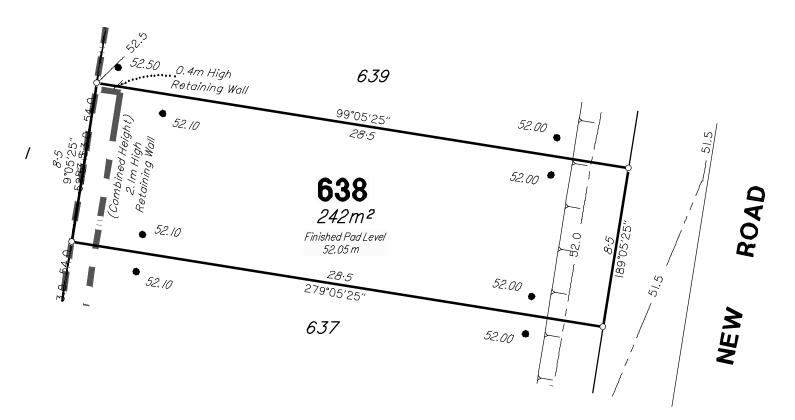


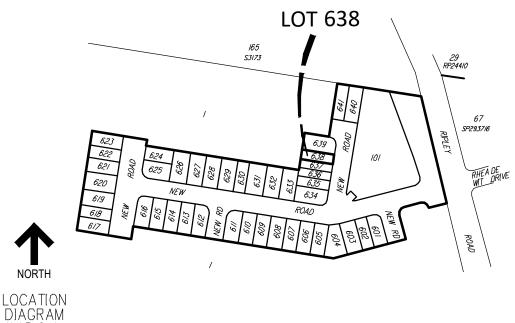


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| | DRAWN | RK | APPROVED | MTF | ORIGIN (BM) | PM581 | 30 RL 54 | .763m | ISSUE: | DETAILS: | DATE: | INIT: | 1 |
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DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6 RIPLEY ROAD, RIPLEY

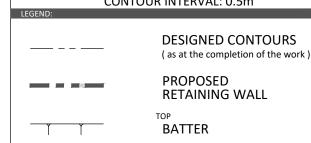
B3742S_6 37 B 37 OF 41 B3742-37B_Stg 6 Disclosure.dwg





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- (2) This plan shows details of Proposed Allotment 638 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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TEL: 07 3012 0100 www.jfp.com.au

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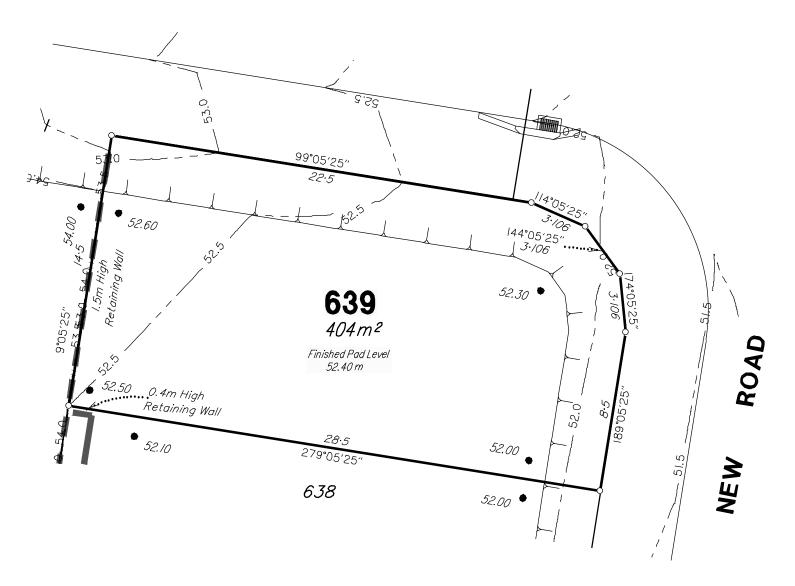
LANDSCAPE ARCHITECTS

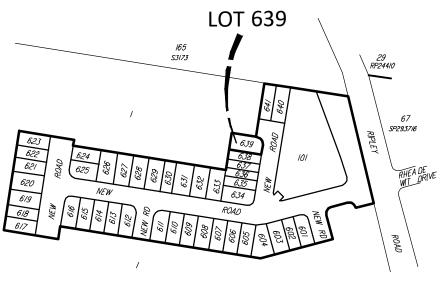
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DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

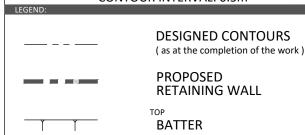
DETAILS:
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B3742S_6 37 B
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38 OF 41
FILE:
B3742-37B_Stg 6 Disclosure.dwg





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- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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BRISBANE - SUNSHINE COAST - CENTRAL QLD
PLANNERS
URBAN DESIGNERS
SURVEYORS
ENGINEERS
LANDSCAPE ARCHITECT

NORTH:

| | SCALE: | _ | | _ | | _ | _ | | ISSUES | | | _ | TIT |
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NORTH

LOCATION DIAGRAM

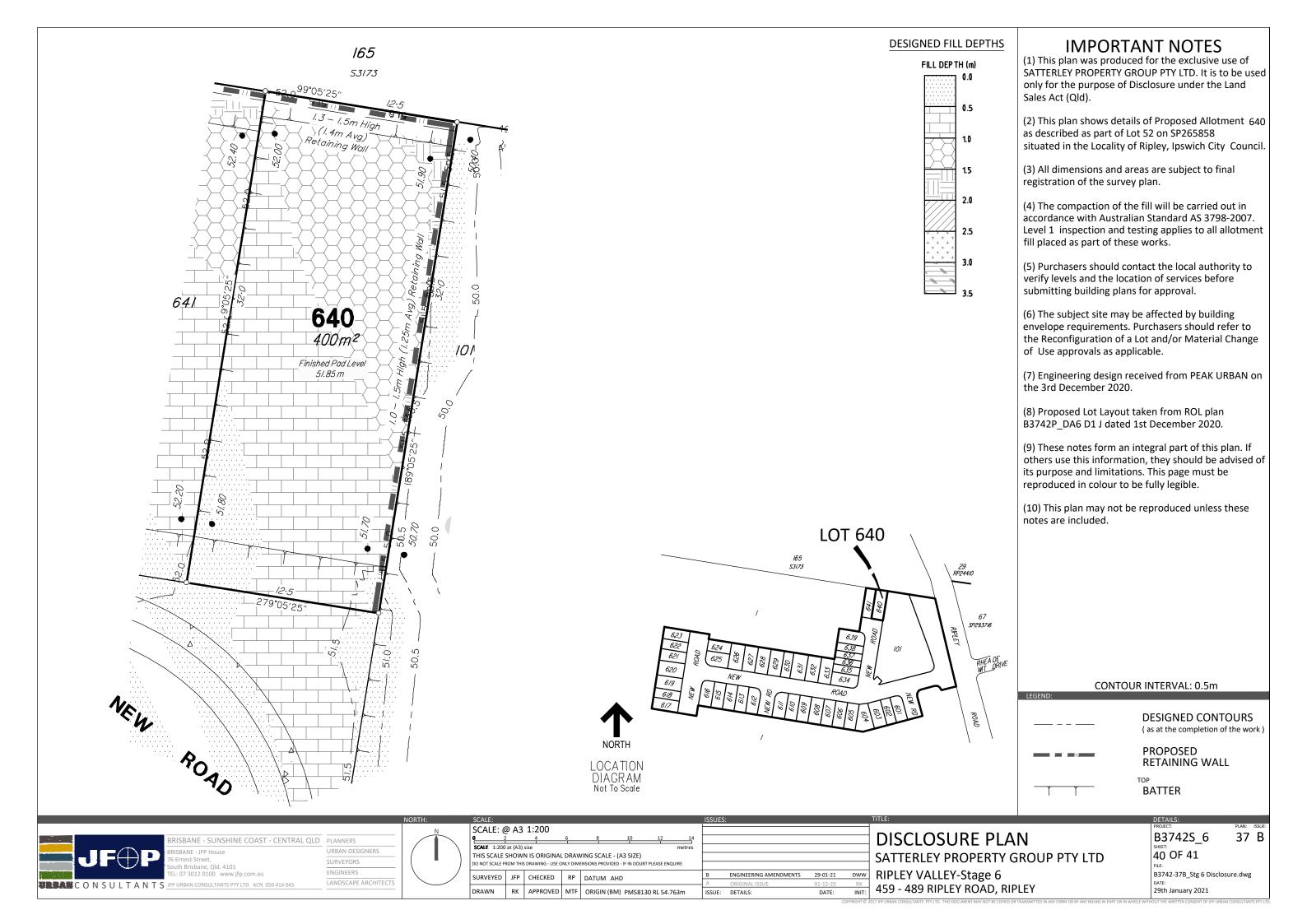
DISCLOSURE PLAN
SATTERLEY PROPERTY GROUP PTY LTD
RIPLEY VALLEY-Stage 6
RIPLEY ROAD, RIPLEY

DETAILS:
PROJECT:

B3742S_6 37 B

SHEET:
39 OF 41

FILE:
B3742-37B_Stg 6 Disclosure.dwg



165 S3173 1.3 - 1.5m High -(1.4m Avg)-Retaining Wall 641 336m² 640 Finished Pad Level 52.35 m , D, D NEW ROAD

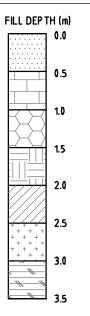
ISBANE - SUNSHINE COAST - CENTRAL QLD PLANNERS

BANE - IEP House

LESANCONSULTANTS JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

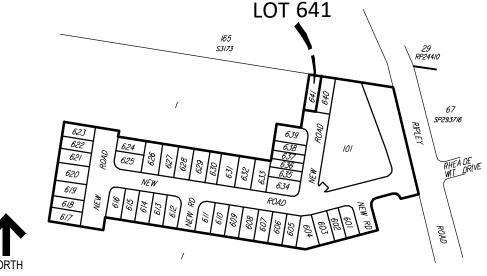
h Brisbane, Old, 4101

DESIGNED FILL DEPTHS



IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 641 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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LOCATION DIAGRAM

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DESIGNED CONTOURS (as at the completion of the work)

PROPOSED RETAINING WALL

BATTER

SCALE: @ A3 1:200 THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE) 29-01-21 DWW SURVEYED | JFP | CHECKED | RP | DATUM AHD 459 - 489 RIPLEY ROAD, RIPLEY RK APPROVED MTF ORIGIN (BM) PM58130 RL 54.763m ISSUE: DETAILS:

DISCLOSURE PLAN SATTERLEY PROPERTY GROUP PTY LTD RIPLEY VALLEY-Stage 6

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37 B