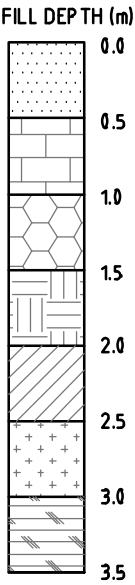
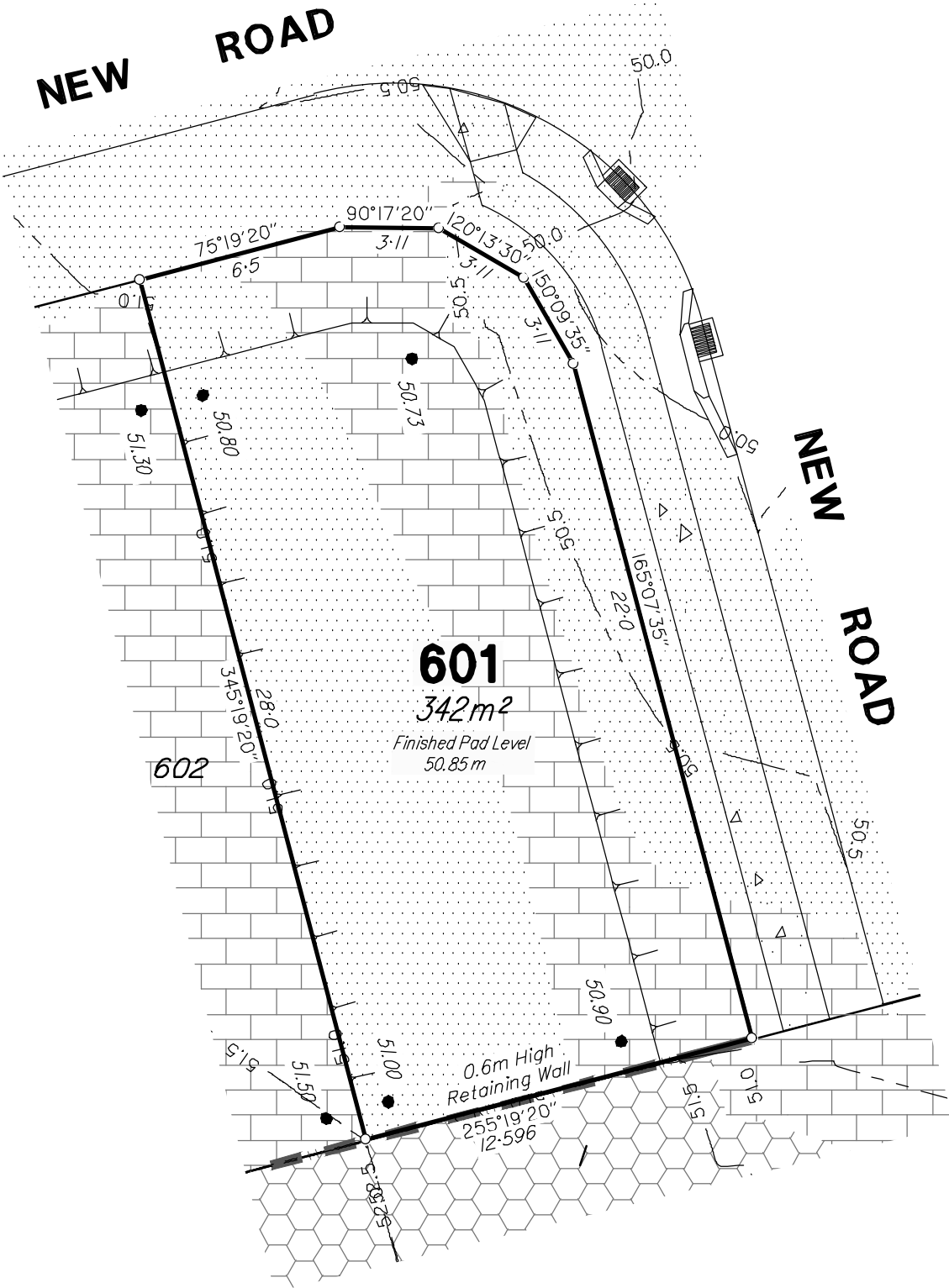


DESIGNED FILL DEPTHS

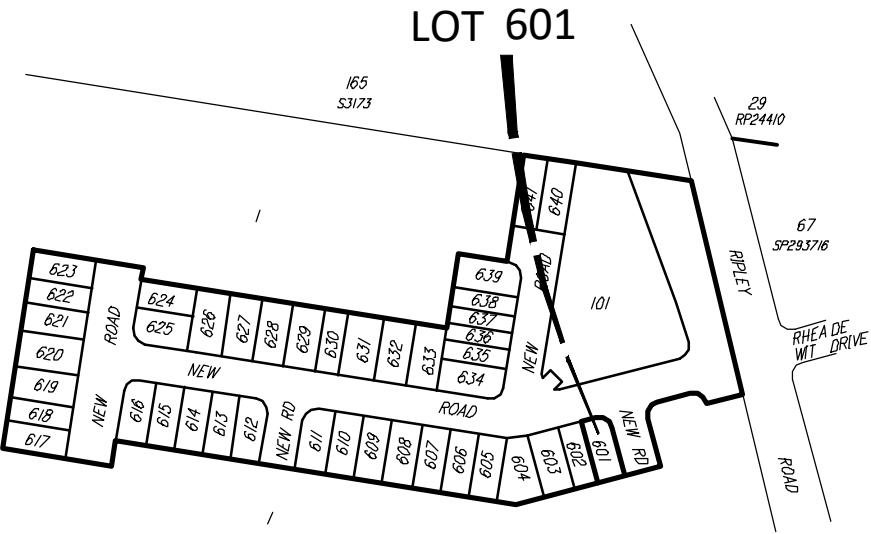


IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 601 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
- (10) This plan may not be reproduced unless these notes are included.



↑  
NORTH  
LOCATION  
DIAGRAM  
Not To Scale



CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

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PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:

SCALE: @ A3 1:200  
0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
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|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

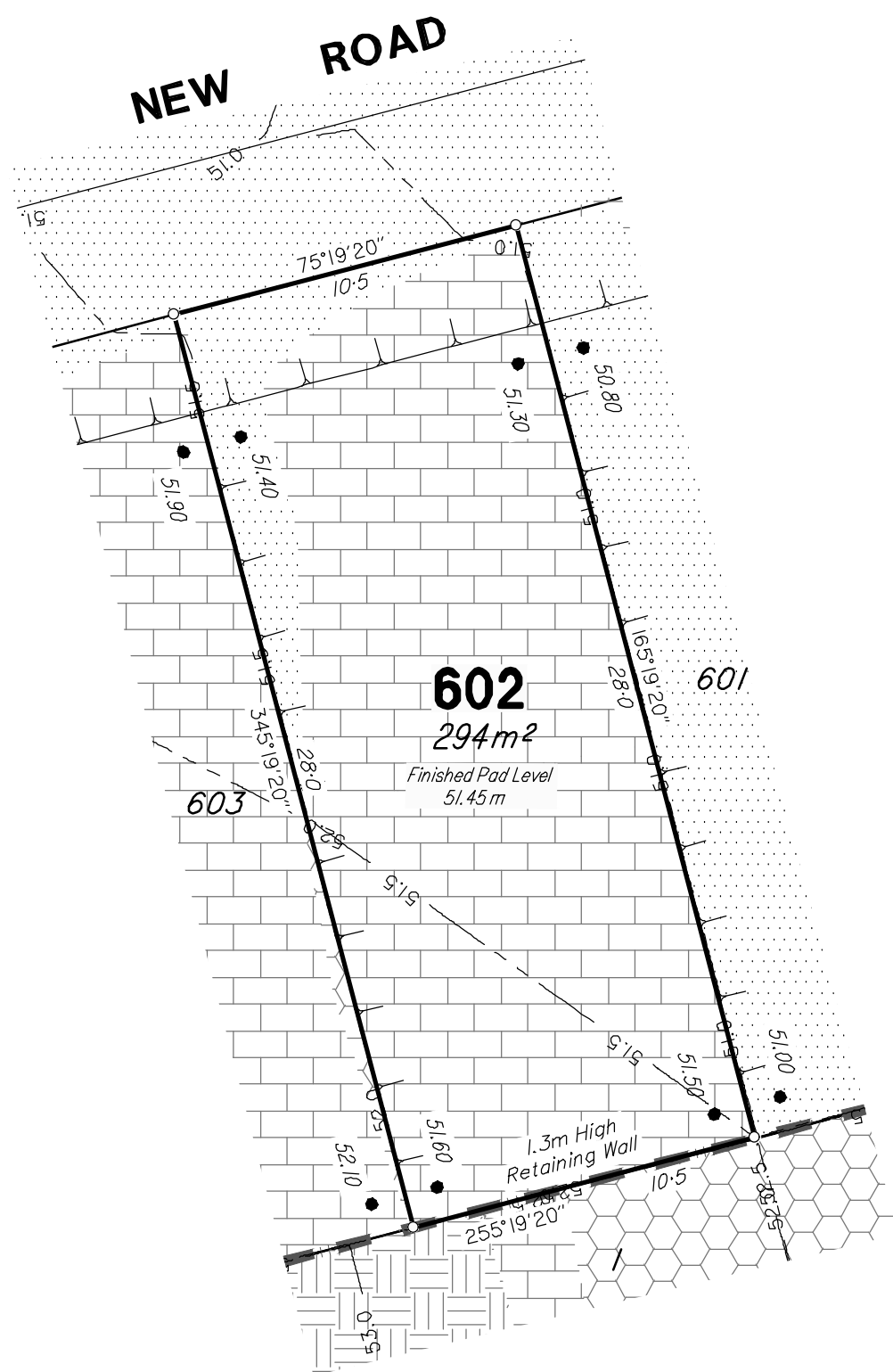
|   |                        |          |     |
|---|------------------------|----------|-----|
| B | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A | ORIGINAL ISSUE         | 01-12-20 | RK  |

ISSUE: DETAILS: DATE: INIT:

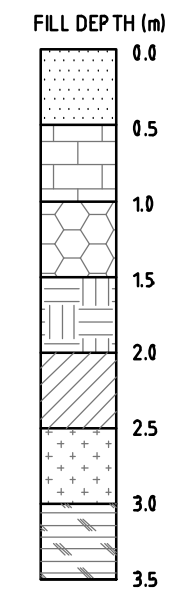
TITLE:  
**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**459 - 489 RIPLEY ROAD, RIPLEY**

DETAILS:

|          |                                |        |
|----------|--------------------------------|--------|
| PROJECT: | PLAN:                          | ISSUE: |
| B3742S_6 |                                | 37 B   |
| SHEET:   | 1 OF 41                        |        |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |        |
| DATE:    | 29th January 2021              |        |

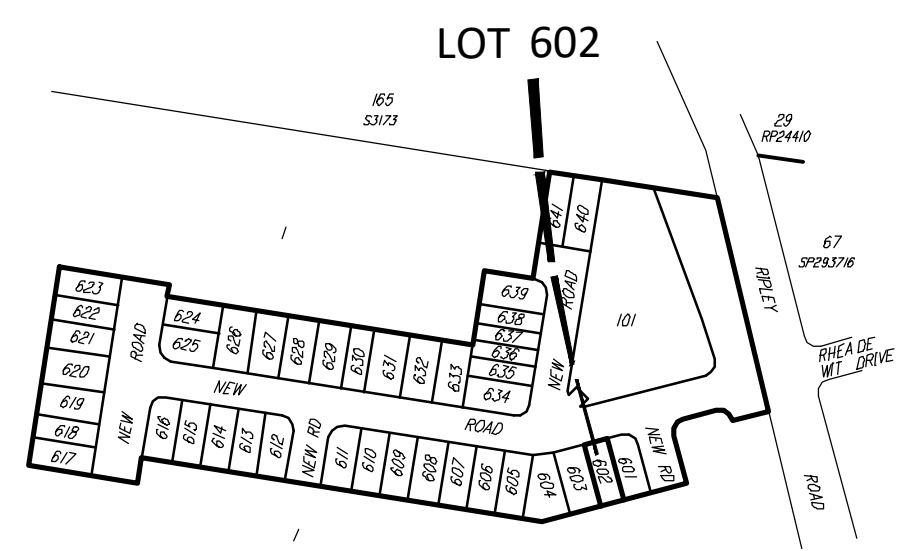


DESIGNED FILL DEPTHS



IMPORTANT NOTES

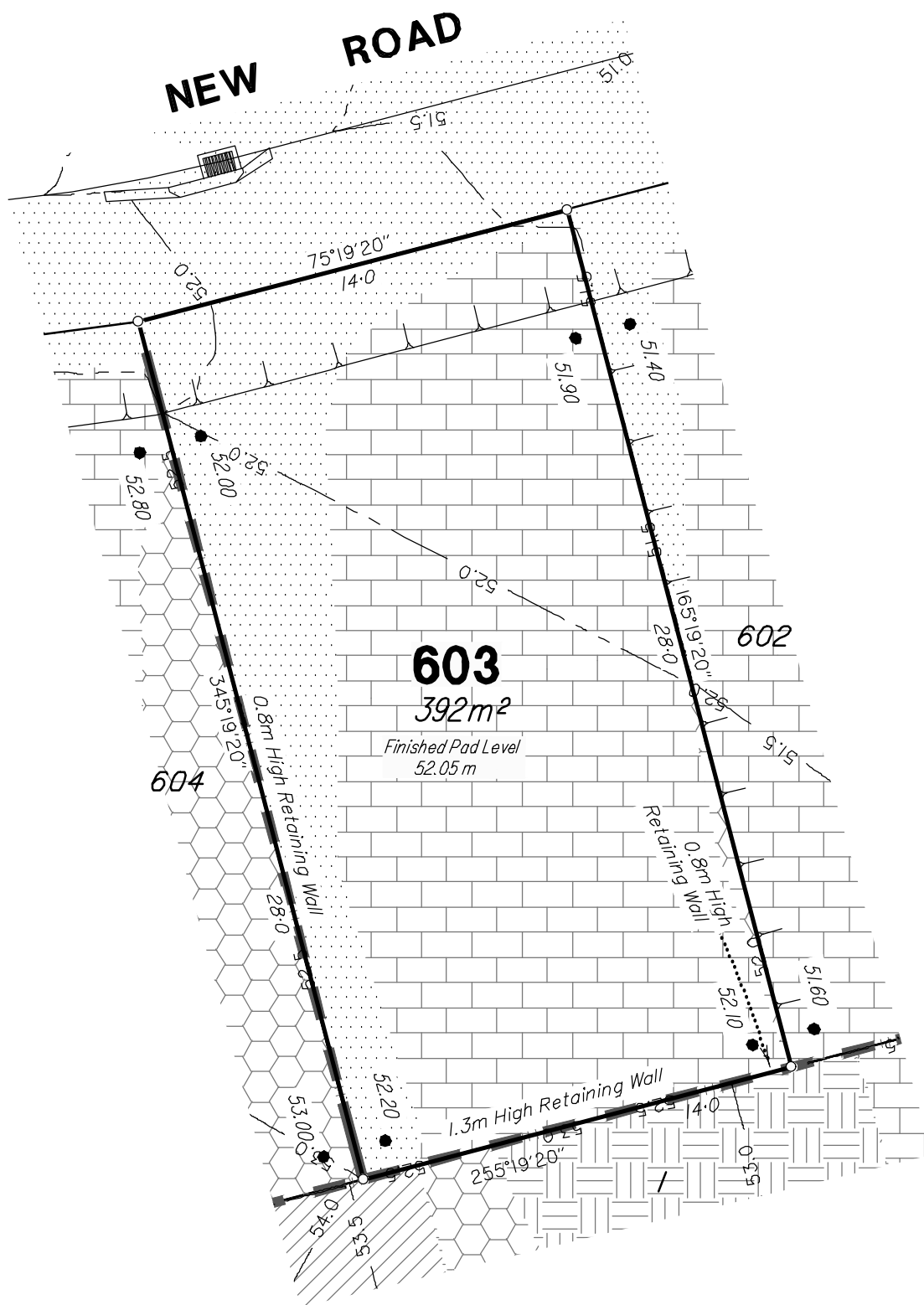
- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 602 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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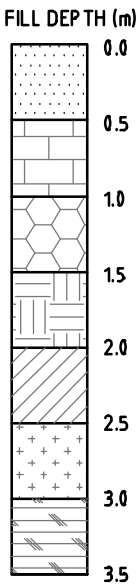
↑  
NORTH  
LOCATION  
DIAGRAM  
Not To Scale

CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
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|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

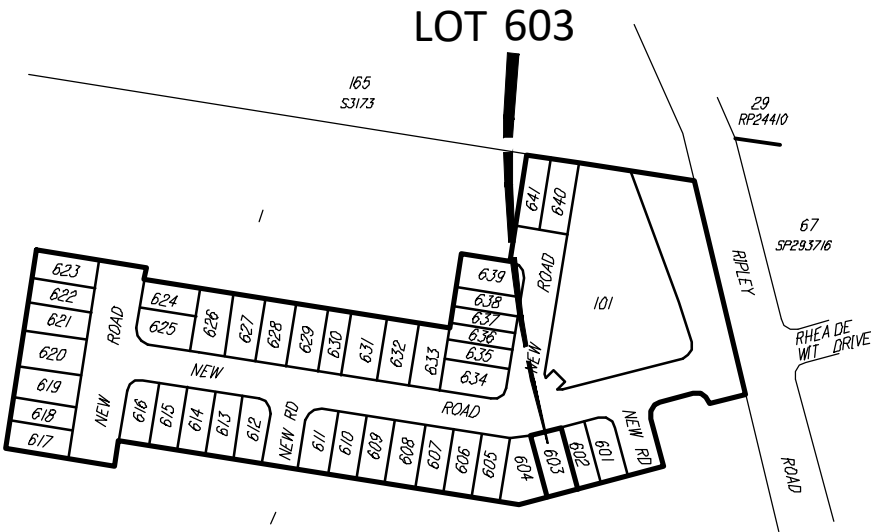


#### DESIGNED FILL DEPTHS



#### IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 603 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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↑  
NORTH  
LOCATION  
DIAGRAM  
Not To Scale

CONTOUR INTERVAL: 0.5m

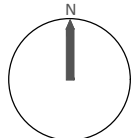
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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14  
metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
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| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

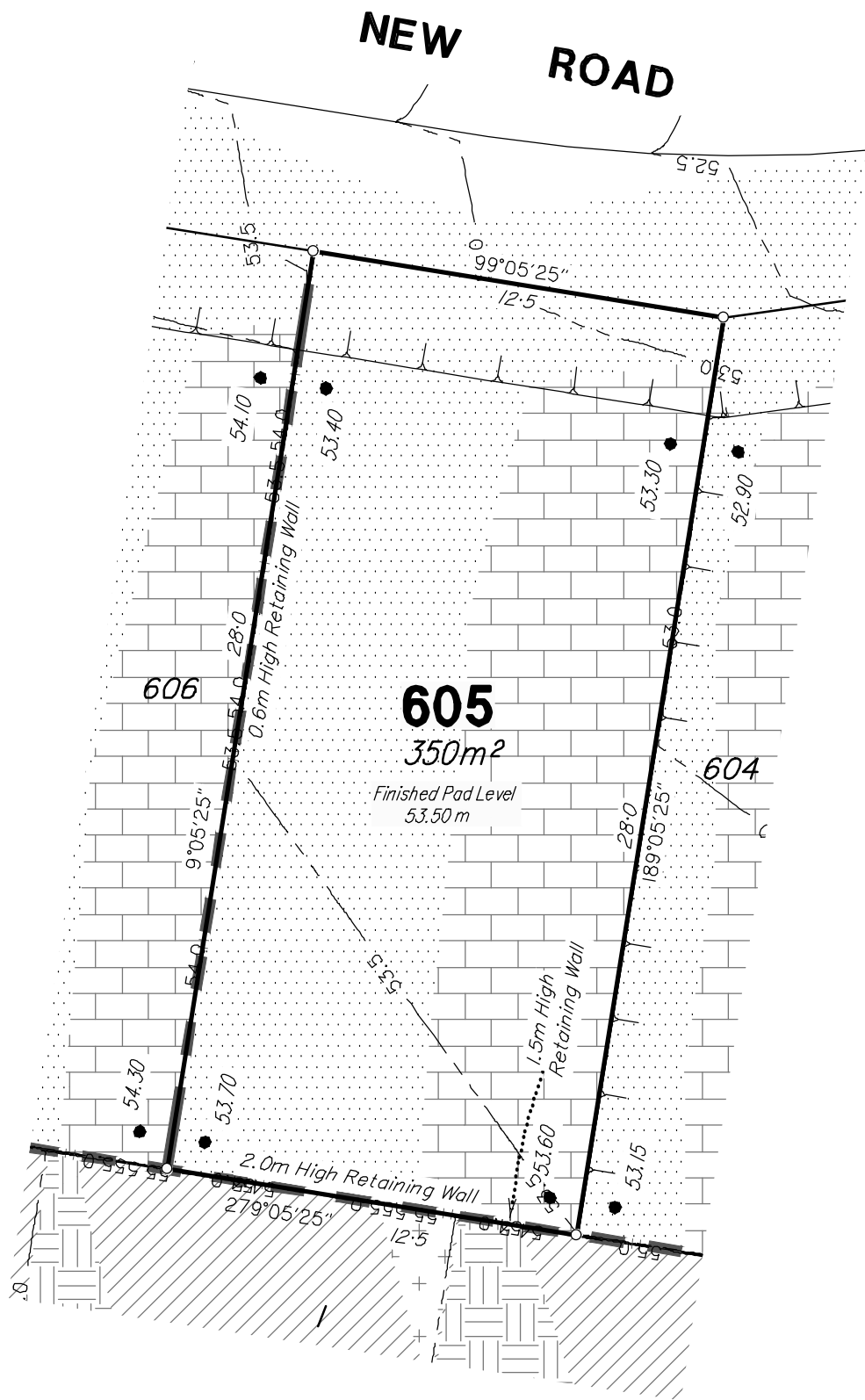
DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

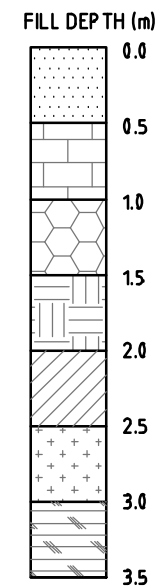
PROJECT: B3742S\_6  
SHEET: 3 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:







#### DESIGNED FILL DEPTHS



#### IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 605 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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CONTOUR INTERVAL: 0.5m

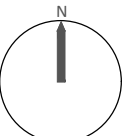
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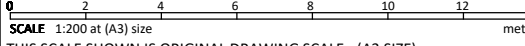
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SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE: @ A3 1:200



SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
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|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

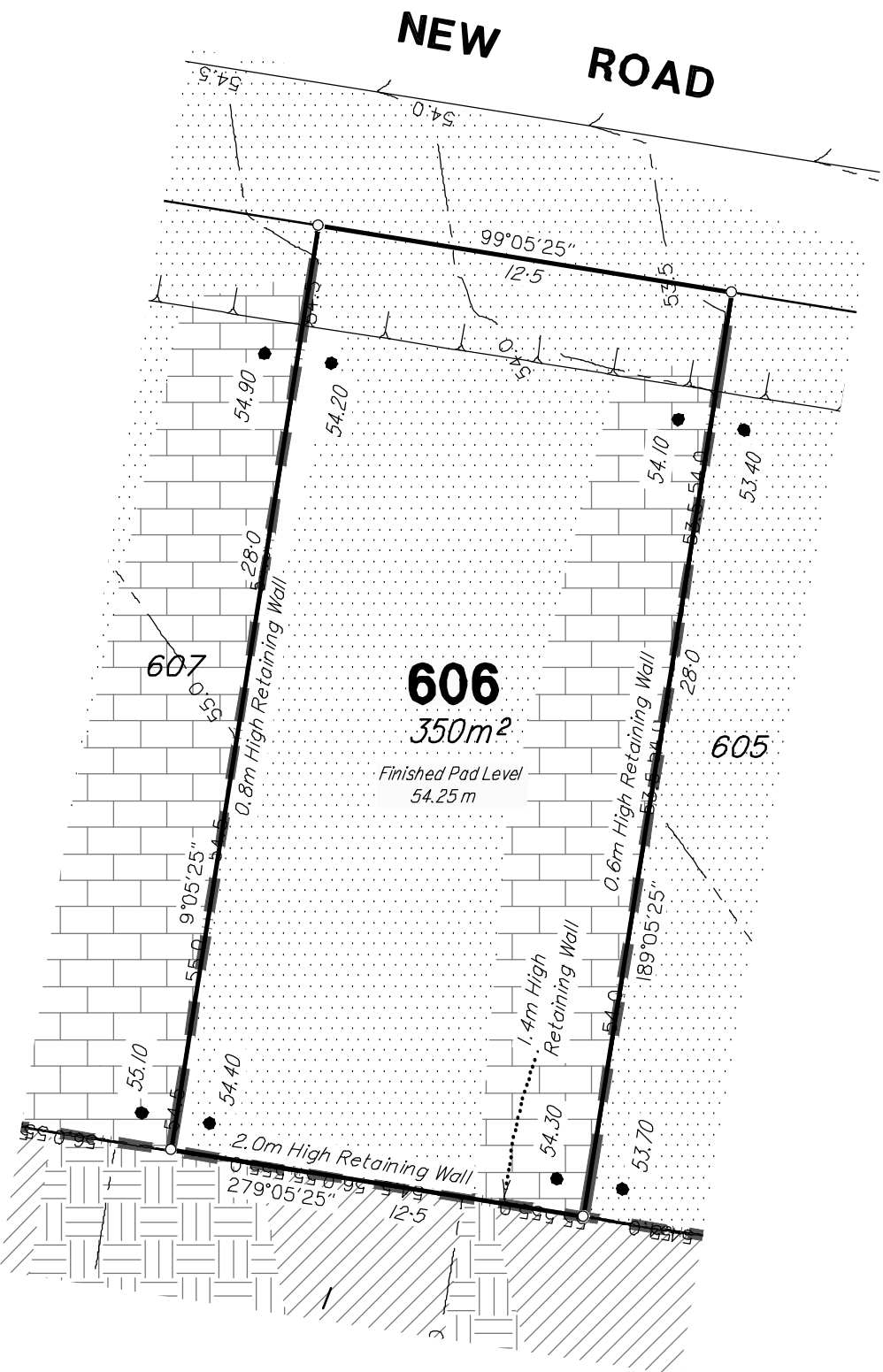
TITLE:

**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**459 - 489 RIPLEY ROAD, RIPLEY**

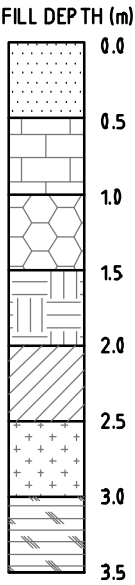
DETAILS:

PROJECT: B3742S\_6  
SHEET: 5 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021

PLAN: 37 B

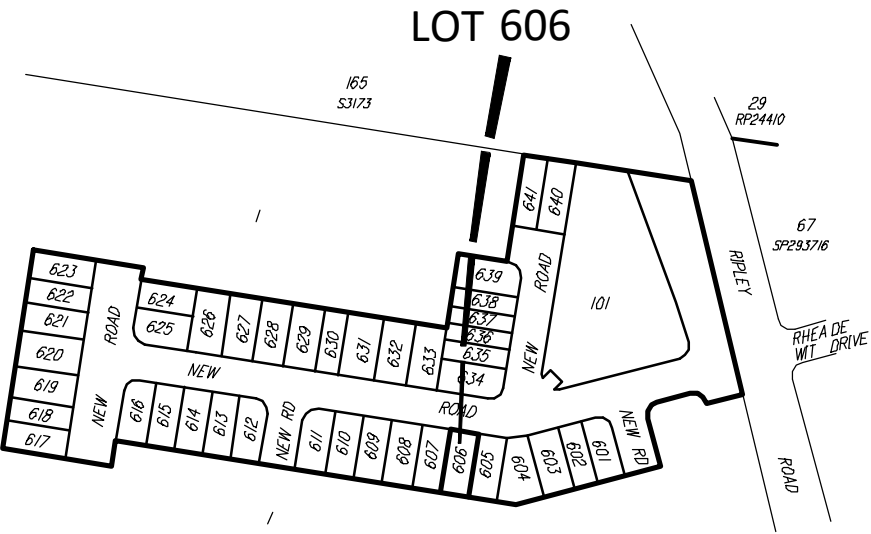


DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 606 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

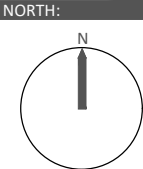


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|                      |
|----------------------|
| PLANNERS             |
| URBAN DESIGNERS      |
| SURVEYORS            |
| ENGINEERS            |
| LANDSCAPE ARCHITECTS |



| SCALE:   |     |          |     |                                |
|--|-----|----------|-----|--------------------------------|
| SCALE: @ A3 1:200  |     |          |     |                                |
| 0 2 4 6 8 10 12 14 metres  |     |          |     |                                |
| SCALE 1:200 at (A3) size   |     |          |     |                                |
| THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)                                     |     |          |     |                                |
| DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE |     |          |     |                                |
| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

| ISSUES:                               |          |       |       |
|---------------------------------------|----------|-------|-------|
| B ENGINEERING AMENDMENTS 29-01-21 DWW |          |       |       |
| A ORIGINAL ISSUE 01-12-20 RK          |          |       |       |
| ISSUE:                                | DETAILS: | DATE: | INIT: |

TITLE:

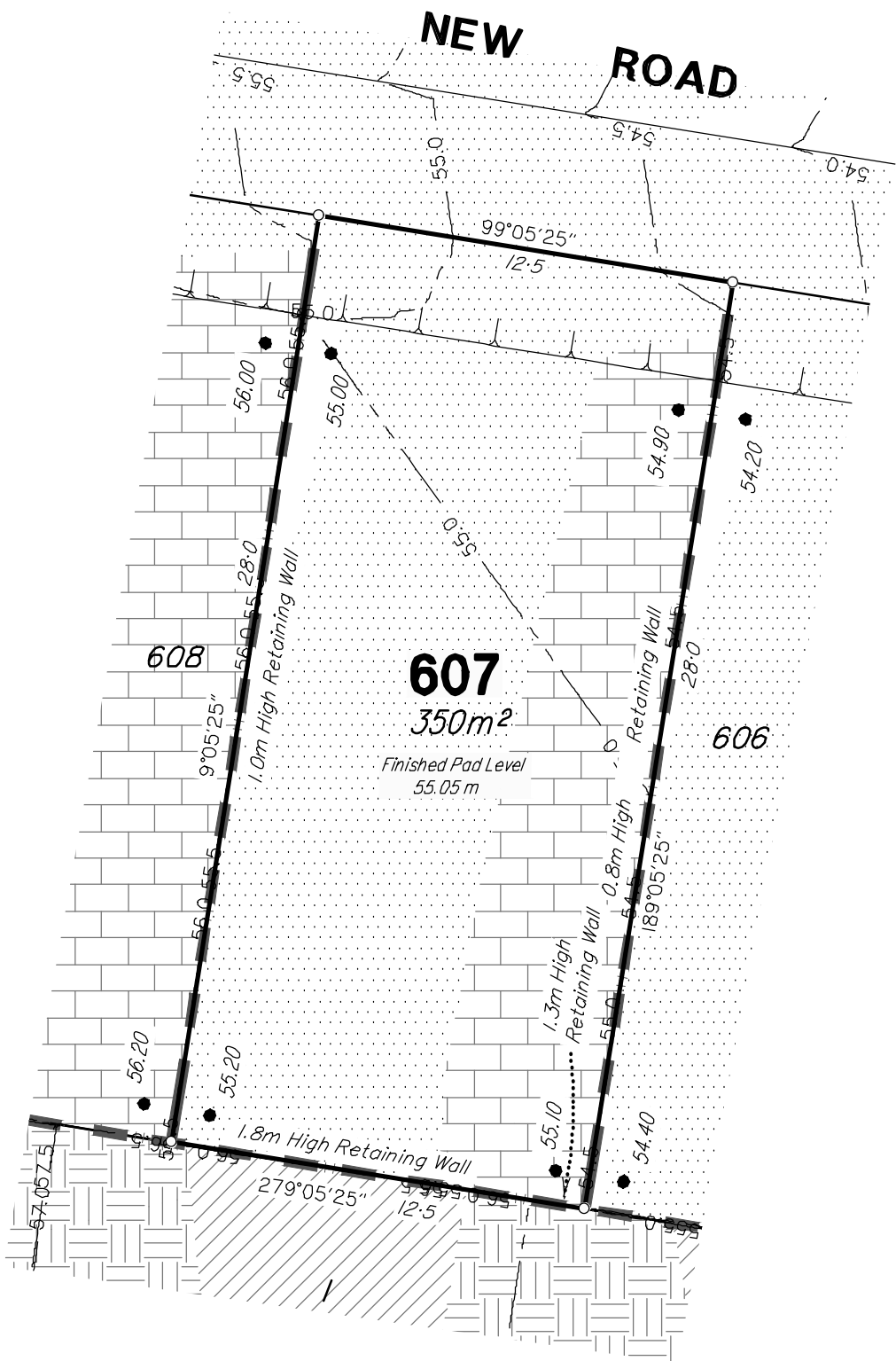
DISCLOSURE PLAN

SATTERLEY PROPERTY GROUP PTY LTD

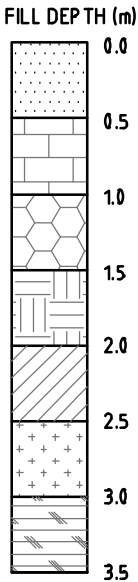
RIPLEY VALLEY-Stage 6

459 - 489 RIPLEY ROAD, RIPLEY

| DETAILS: |                                |            |
|----------|--------------------------------|------------|
| PROJECT: | B3742S_6                       | PLAN: 37 B |
| SHEET:   | 6 OF 41                        |            |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |            |
| DATE:    | 29th January 2021              |            |

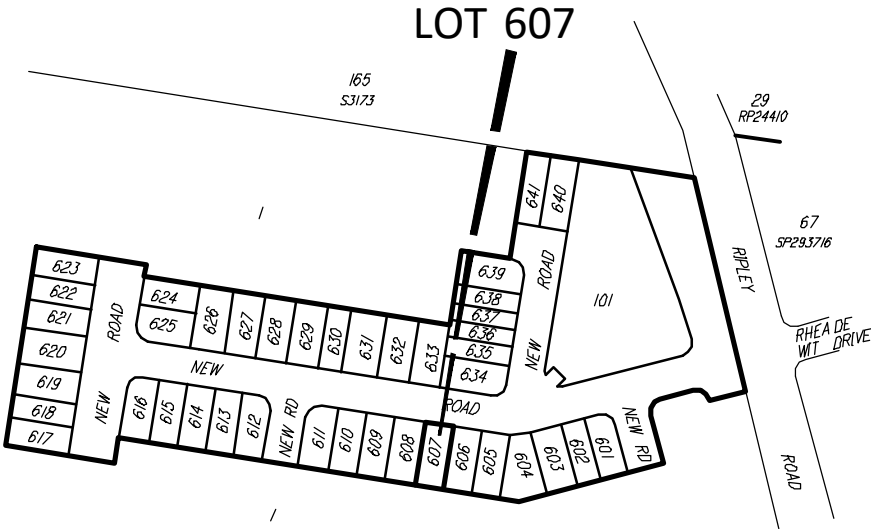


DESIGNED FILL DEPTHS



IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 607 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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NORTH  
LOCATION  
DIAGRAM  
Not To Scale

CONTOUR INTERVAL: 0.5m

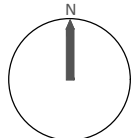
| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

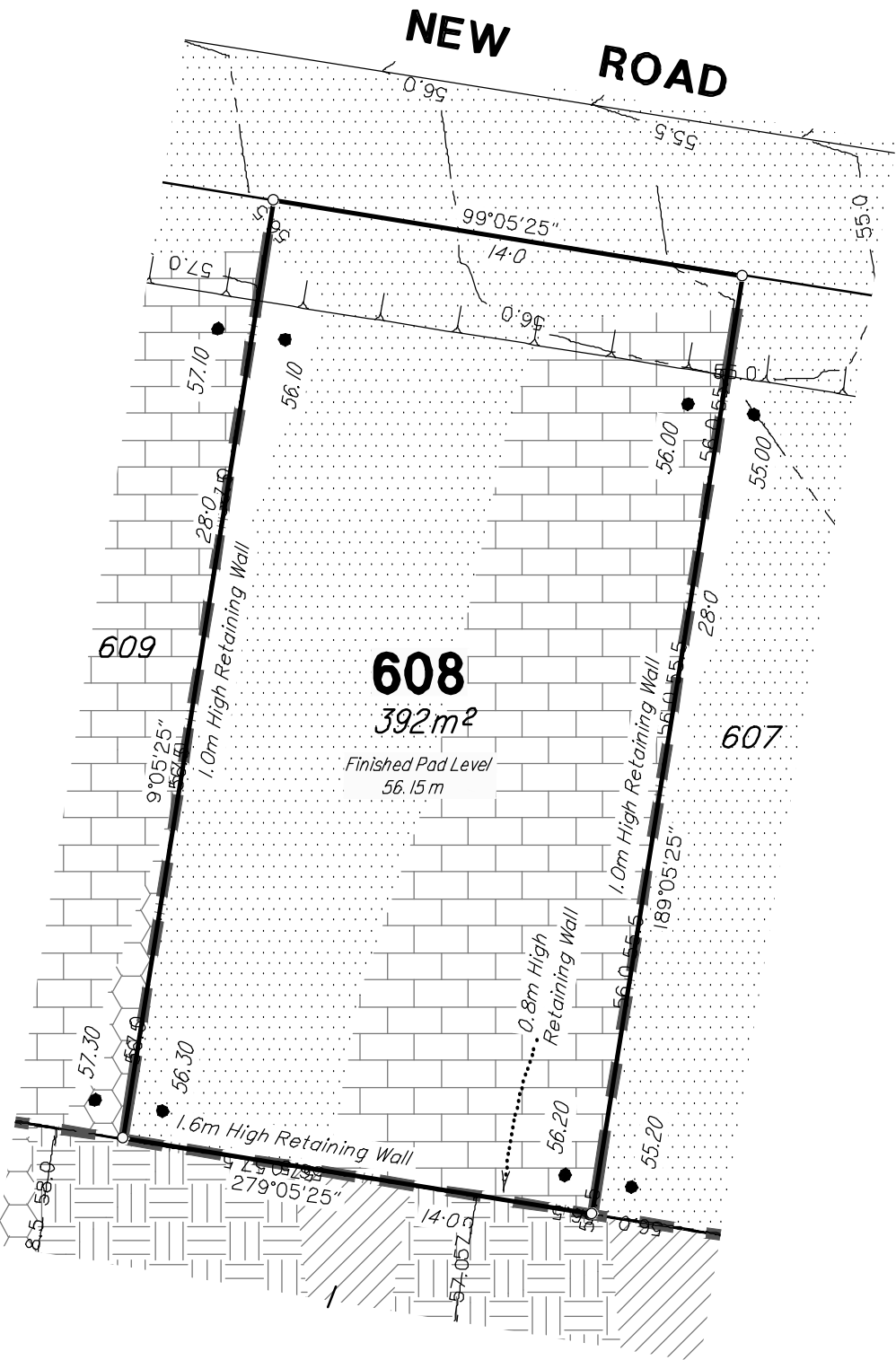
| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

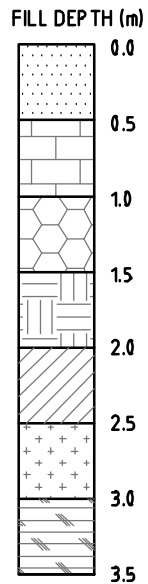
DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S\_6  
SHEET: 7 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:



DESIGNED FILL DEPTHS



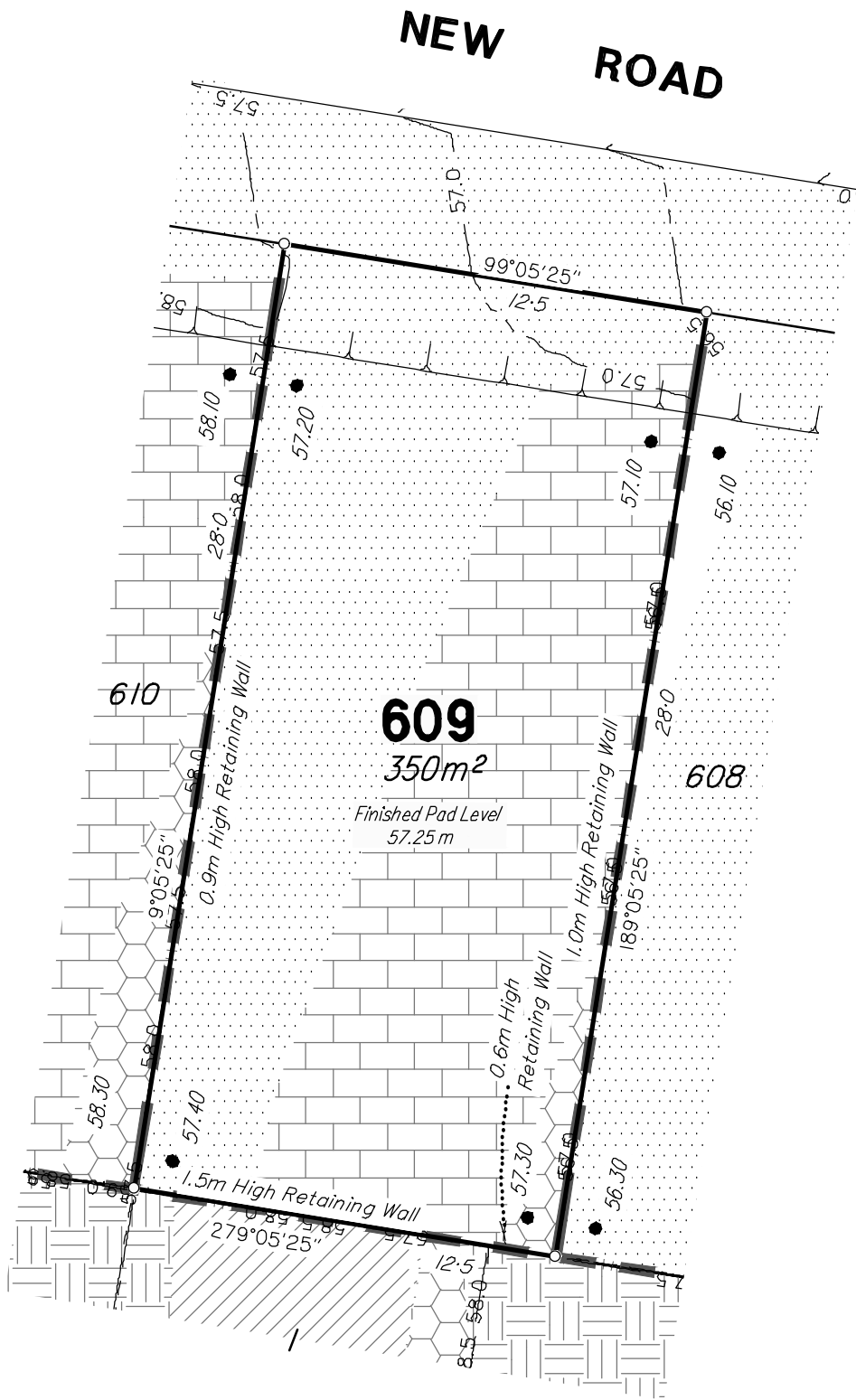
IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 608 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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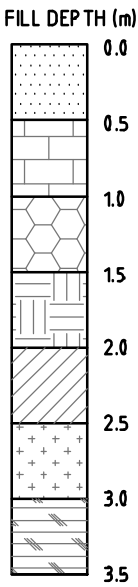
CONTOUR INTERVAL: 0.5m

| LEGEND: |                         |                                      |
|---------|-------------------------|--------------------------------------|
|         | DESIGNED CONTOURS       | ( as at the completion of the work ) |
|         | PROPOSED RETAINING WALL |                                      |
|         | TOP BATTER              |                                      |





DESIGNED FILL DEPTHS



IMPORTANT NOTES

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- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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CONTOUR INTERVAL: 0.5m

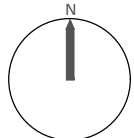
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|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
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|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

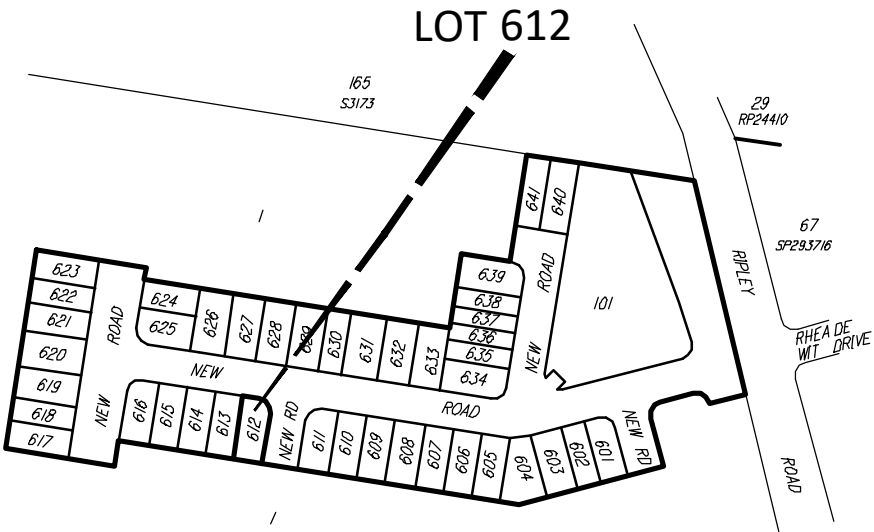
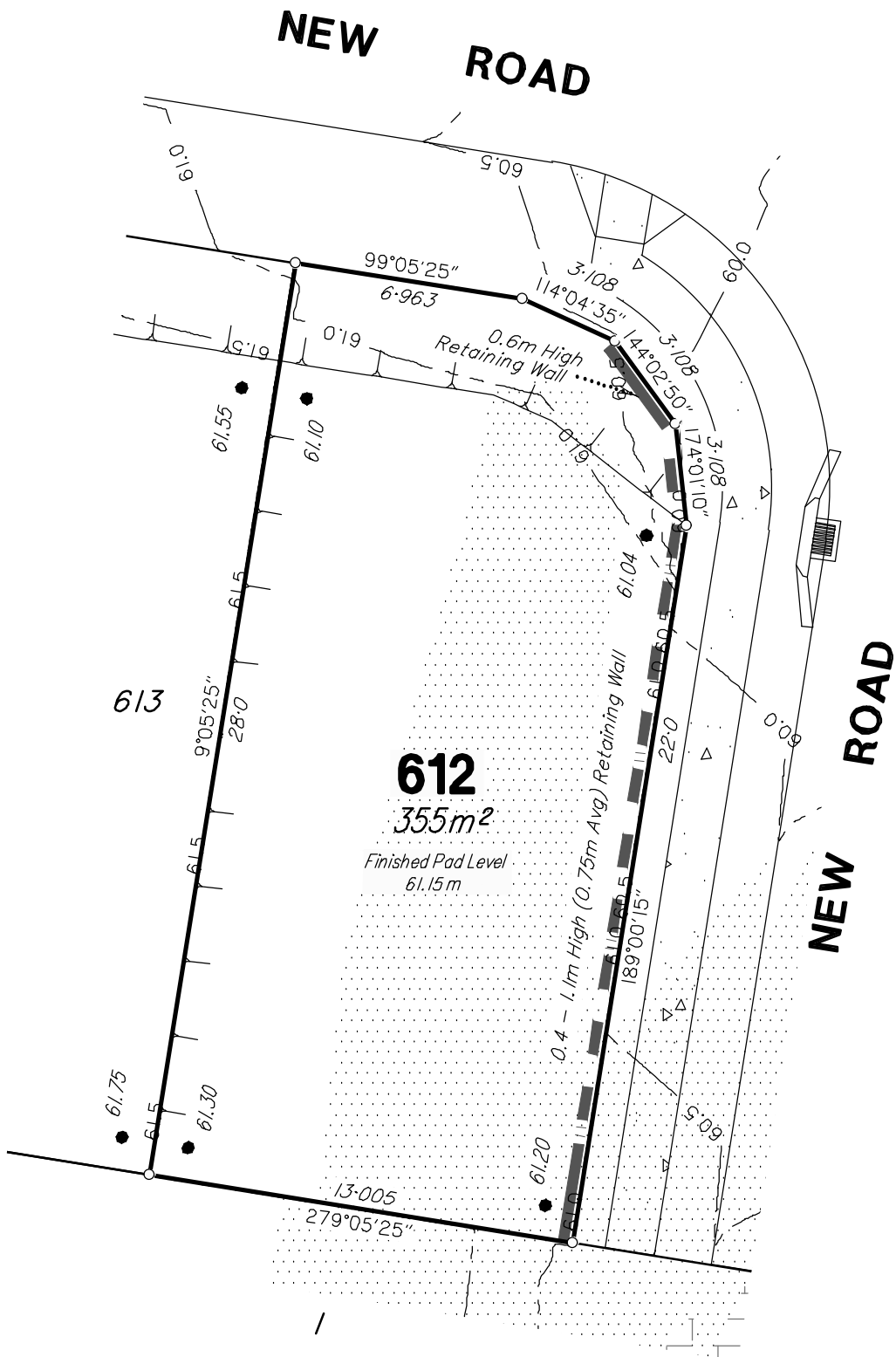
DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

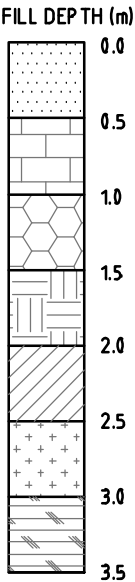
PROJECT: B3742S\_6  
SHEET: 9 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:







DESIGNED FILL DEPTHS



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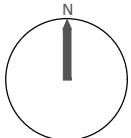
| LEGEND: |   |
|---------|---|
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|         | PROPOSED<br>RETAINING WALL                                |
|         | TOP<br>BATTER   |



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LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
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|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
|--------|------------------------|----------|-------|
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE: | DETAILS:               | DATE:    | INIT: |

TITLE:

DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
459 - 489 RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S\_6  
SHEET: 12 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:



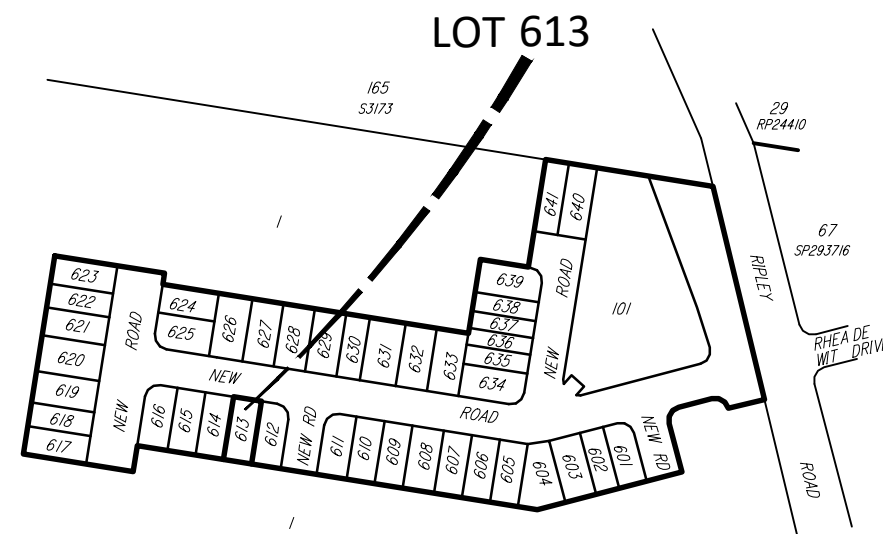
(1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).

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[illegible]

**LEGEND:**

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[illegible]

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**NEW ROAD**

**615**

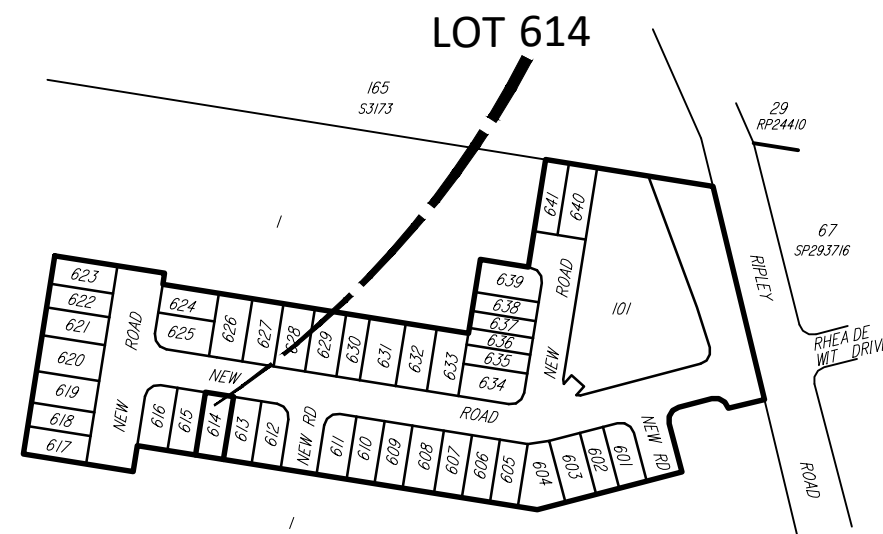
**614**  
350m<sup>2</sup>  
Finished Pod Level  
62.40 m

**613**




99°05'25"  
12.5  
62.5  
62.25  
62.50  
62.70  
62.65  
279°05'25"

0.6m High Retaining Wall  
189°05'25"  
28.0  
62.15  
61.65  
62.55  
61.85  
12.5  
0.6m High Retaining Wall

2.0m High Retaining Wall



LEGEND:

|   |  |
|---|--|
|  | <b>DESIGNED CONTOURS</b><br>( as at the completion of the work ) |
|  | <b>PROPOSED<br/>RETAINING WALL</b>                               |
|  | <b>TOP<br/>BATTER</b>  |

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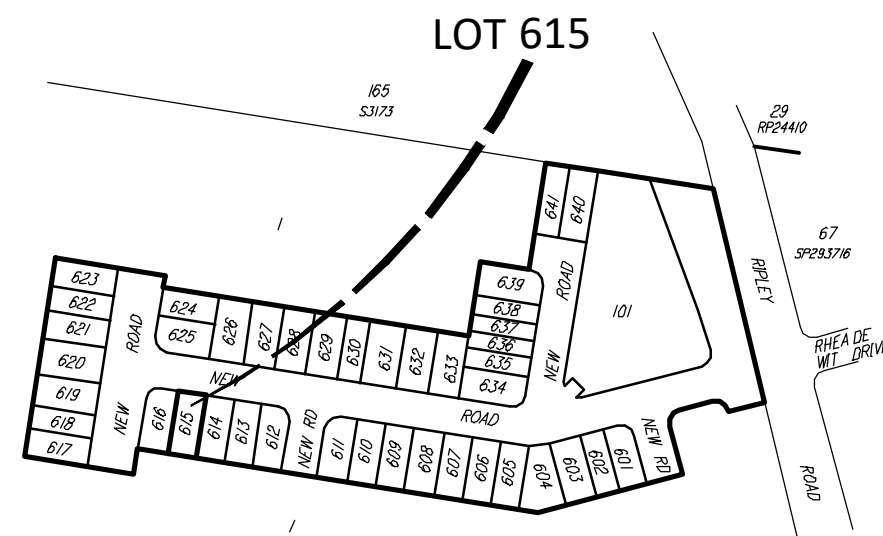
(8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.

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The site plan shows a rectangular plot labeled **615** with an area of **350m<sup>2</sup>**. The plot is bounded by three adjacent plots: **616** to the west, **614** to the east, and **NEW ROAD** to the north. The plot is oriented with its long sides running north-south. The north boundary is a dashed line with a bearing of **99°05'25"** and a distance of **12.5**. The west boundary has a bearing of **9°05'25"** and a distance of **28.0**. The east boundary has a bearing of **189°05'25"** and a distance of **28.0**. The south boundary is a solid line with a bearing of **279°05'25"** and a distance of **12.5**. The plot is divided into sections by a dashed line running north-south. Elevation points are marked with dots and labeled with values such as **62.80**, **62.60**, **62.50**, **62.25**, **62.70**, and **62.65**. A retaining wall is shown along the south boundary, labeled **1.8 - 2.0m High (1.9m Avg) Retaining Wall**. The finished pad level is indicated as **62.65 m**. The plot is surrounded by a grid of lines, likely representing a road network or utility lines.



LOCATION  
DIAGRAM  
Not To Scale



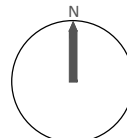
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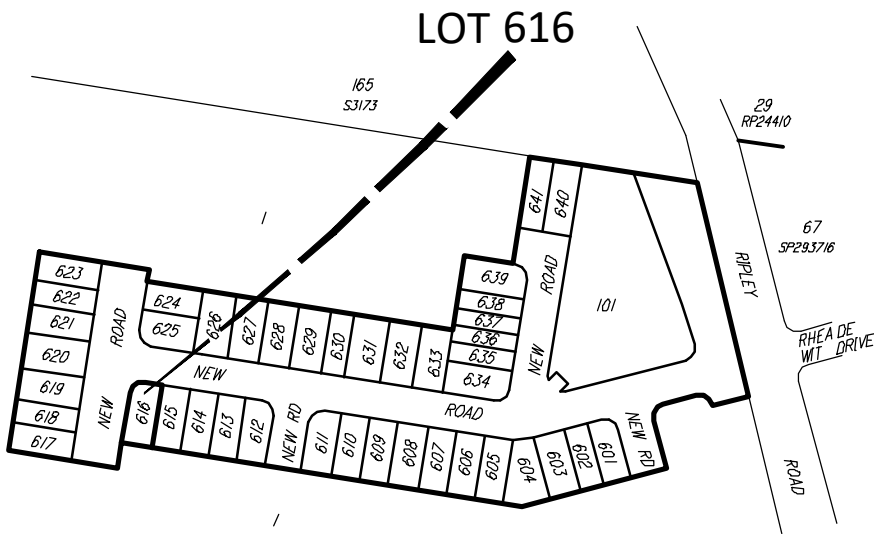
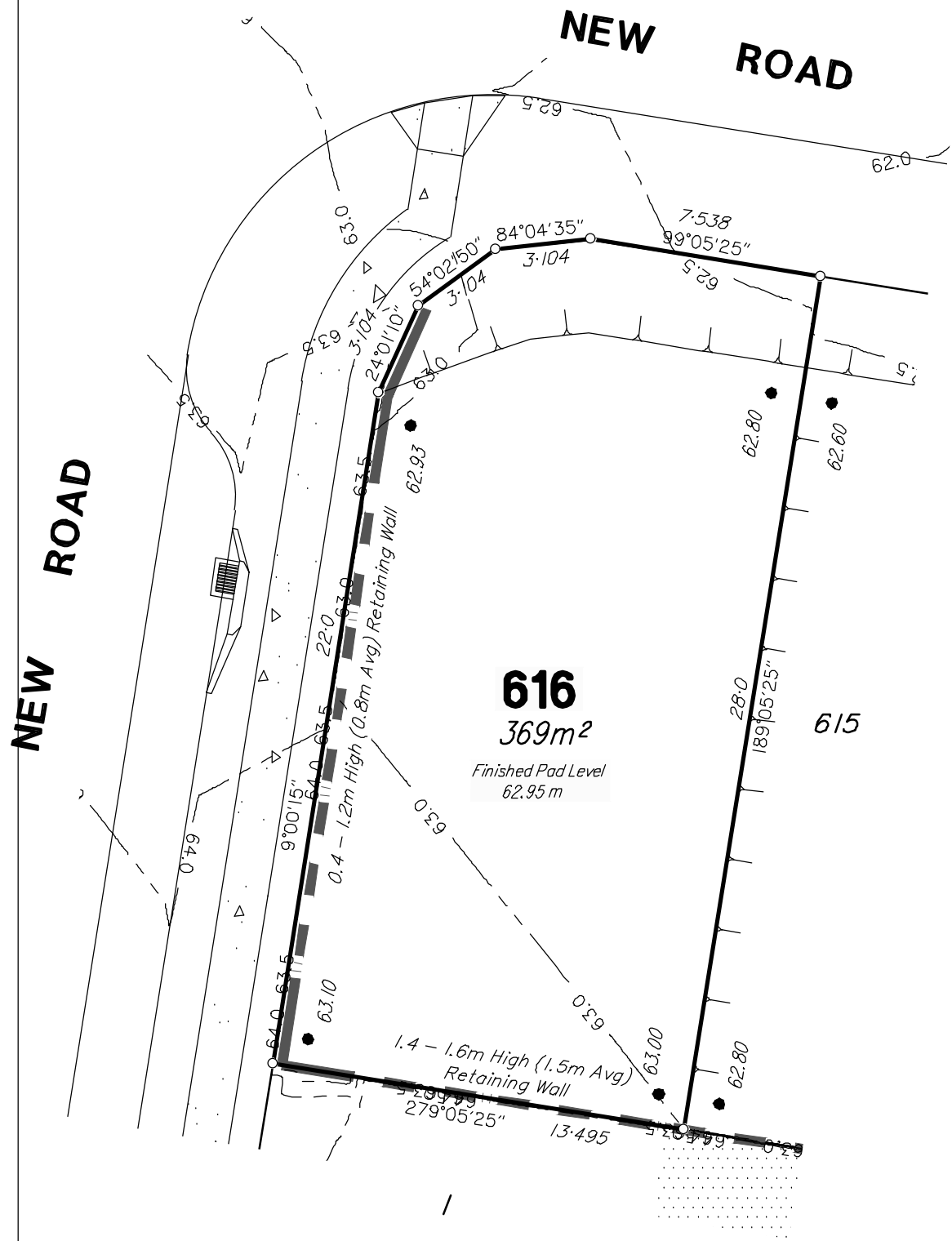
LEGEND:

**DESIGNED CONTOURS**  
( as at the completion of the work )

PROPOSED  
RETAINING WALL

TOP  
BATTER





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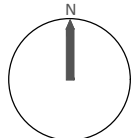
| LEGEND: |   |
|---------|---|
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|         | PROPOSED<br>RETAINING WALL                              |
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NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14  
metres  
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|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
RIPLEY ROAD, RIPLEY

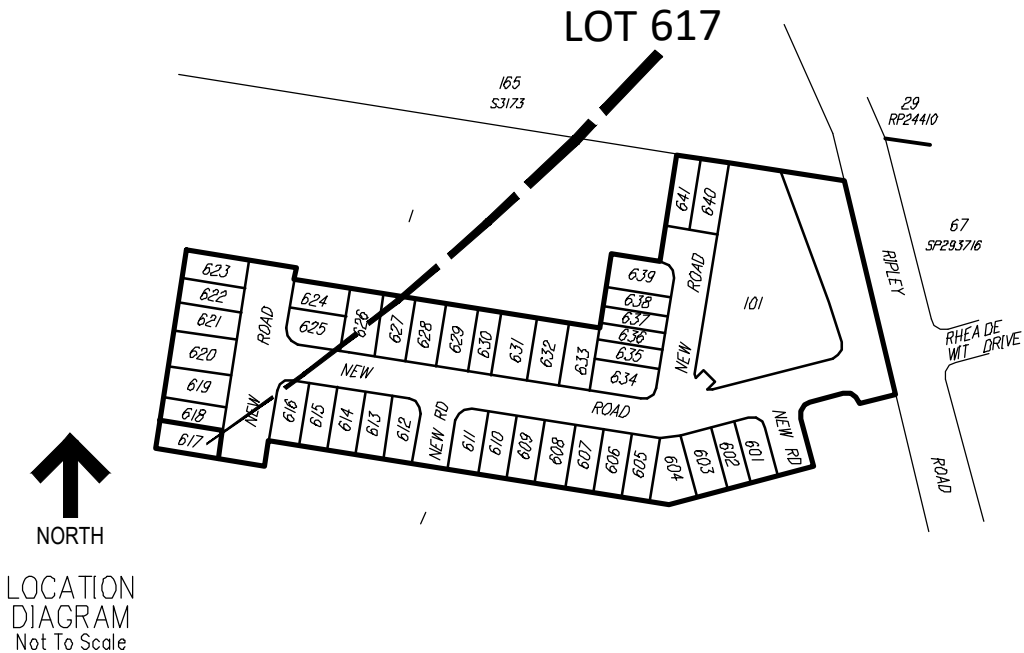
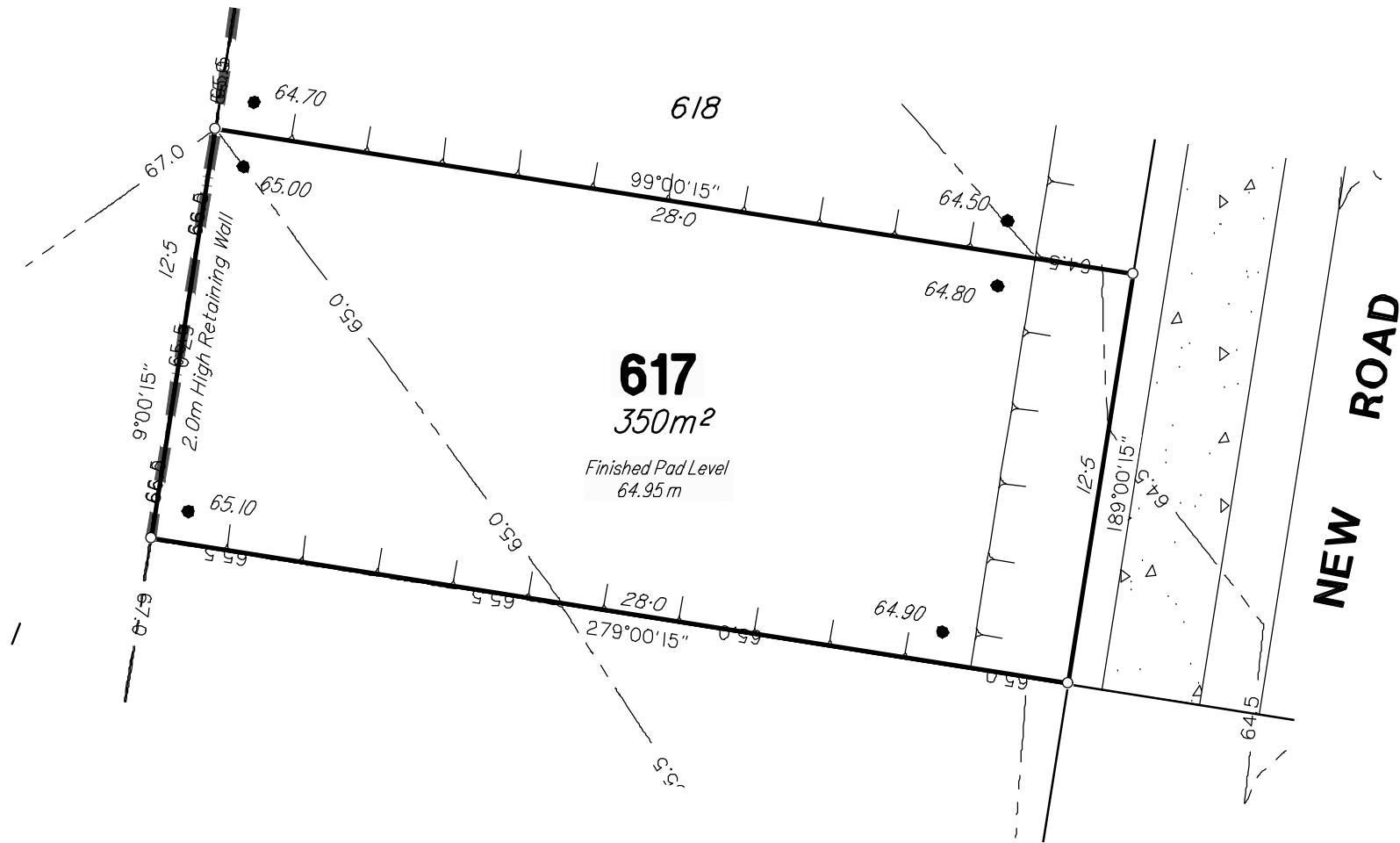
DETAILS:

PROJECT: B3742S\_6  
SHEET: 16 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:



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NORTH  
LOCATION  
DIAGRAM  
Not To Scale

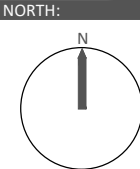
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
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|         | PROPOSED<br>RETAINING WALL                                |
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| SCALE:   |     |          |     |                                |
|--|-----|----------|-----|--------------------------------|
| SCALE: @ A3 1:200  |     |          |     |                                |
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| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

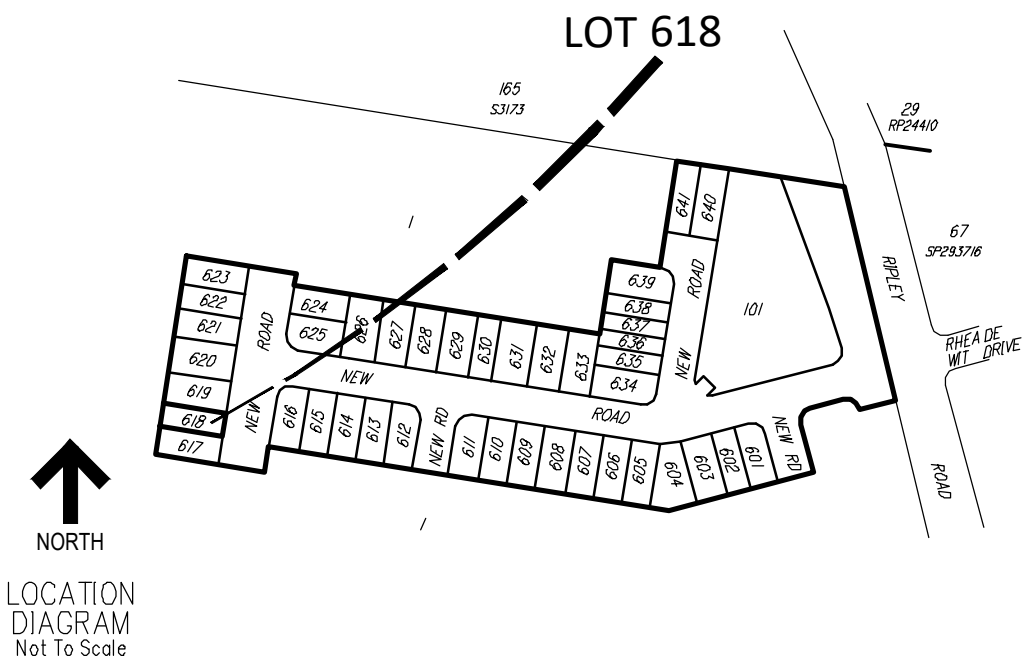
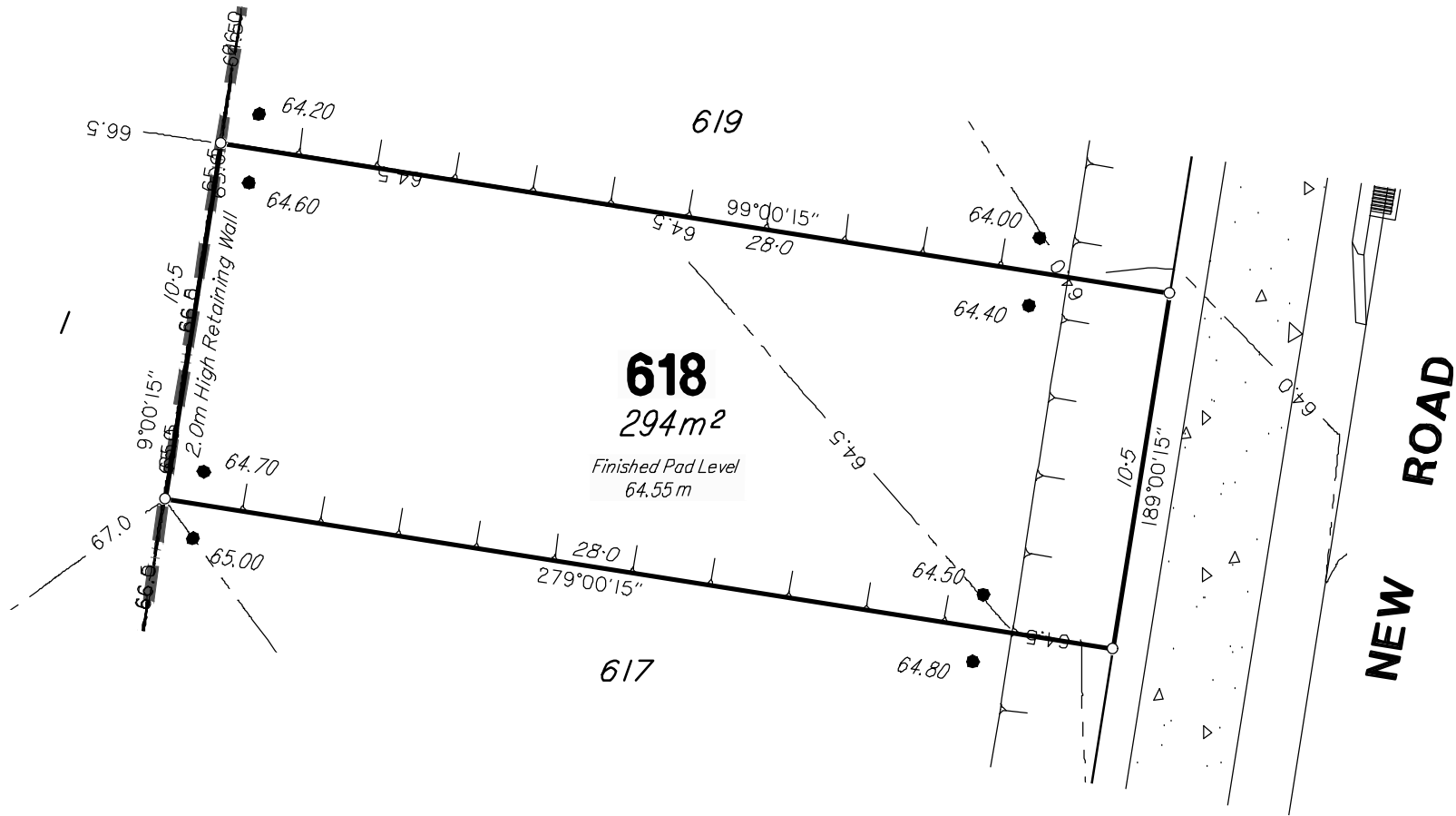
| ISSUES: |                        |          |       |
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|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

| TITLE:                           |  |
|----------------------------------|--|
| DISCLOSURE PLAN                  |  |
| SATTERLEY PROPERTY GROUP PTY LTD |  |
| RIPLEY VALLEY-Stage 6            |  |
| RIPLEY ROAD, RIPLEY              |  |

| DETAILS: |                                |
|----------|--------------------------------|
| PROJECT: | PLAN: 37 B                     |
| SHEET:   | 17 OF 41                       |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |
| DATE:    | 29th January 2021              |

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- (2) This plan shows details of Proposed Allotment 618 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
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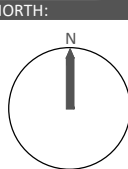
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
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| SCALE:   |     |          |     |                                |
|--|-----|----------|-----|--------------------------------|
| SCALE: @ A3 1:200  |     |          |     |                                |
|  |     |          |     |                                |
| THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)                                     |     |          |     |                                |
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| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

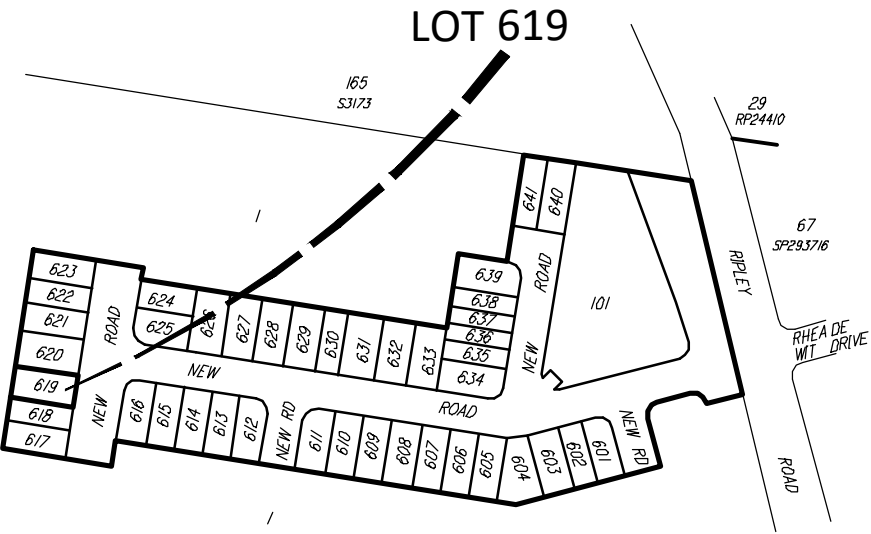
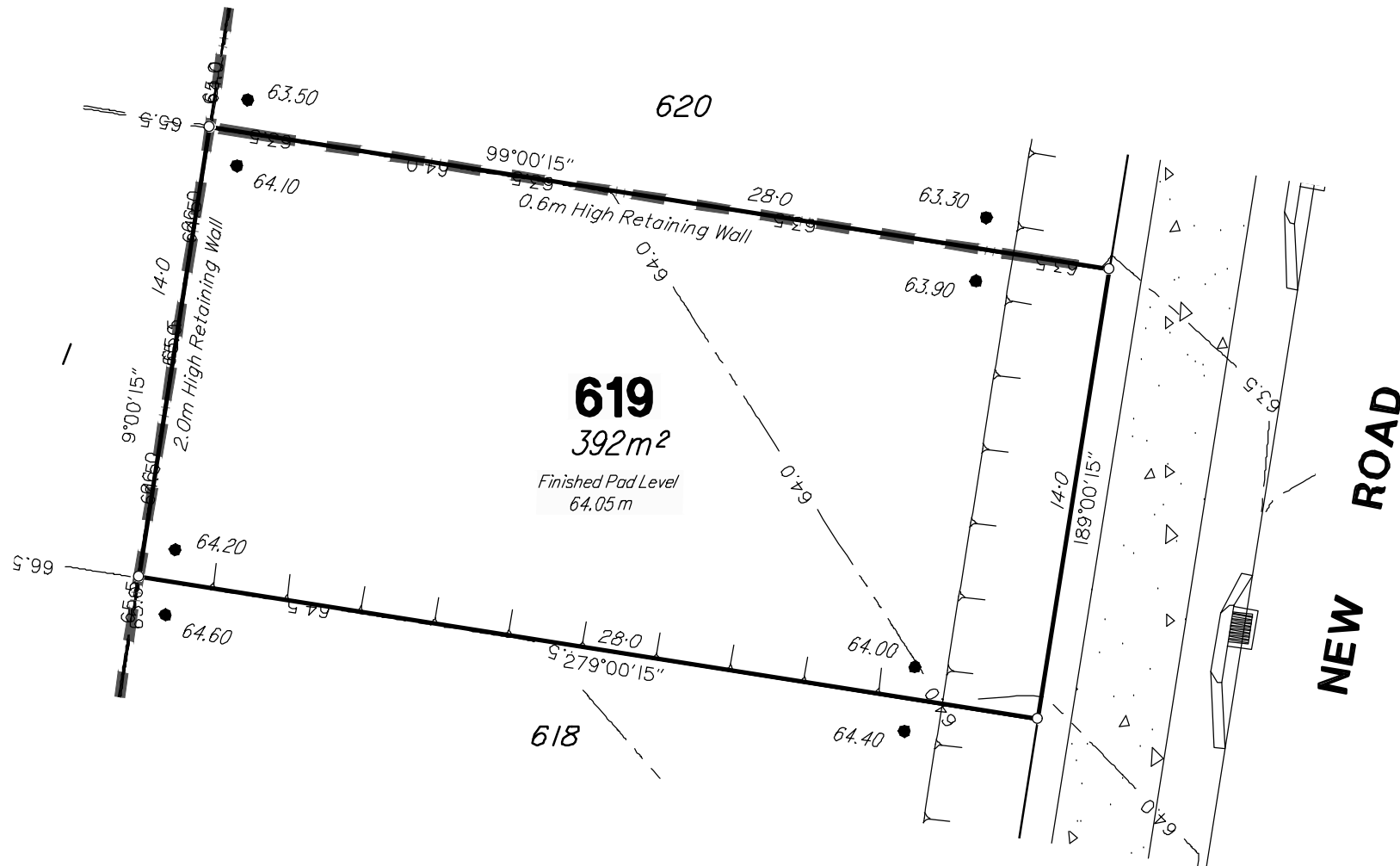
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|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

TITLE:  
**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**RIPLEY ROAD, RIPLEY**

| DETAILS: |                                |
|----------|--------------------------------|
| PROJECT: | PLAN: 37 B                     |
| SHEET:   | 18 OF 41                       |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |
| DATE:    | 29th January 2021              |

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- (2) This plan shows details of Proposed Allotment 619 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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NORTH  
LOCATION  
DIAGRAM  
Not To Scale

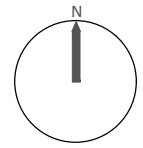
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|         | PROPOSED<br>RETAINING WALL                                |
|         | TOP<br>BATTER   |



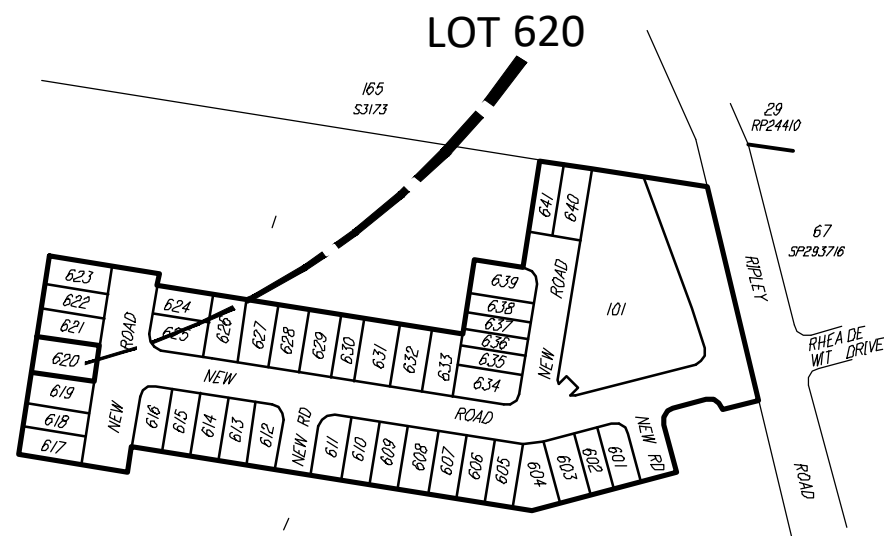
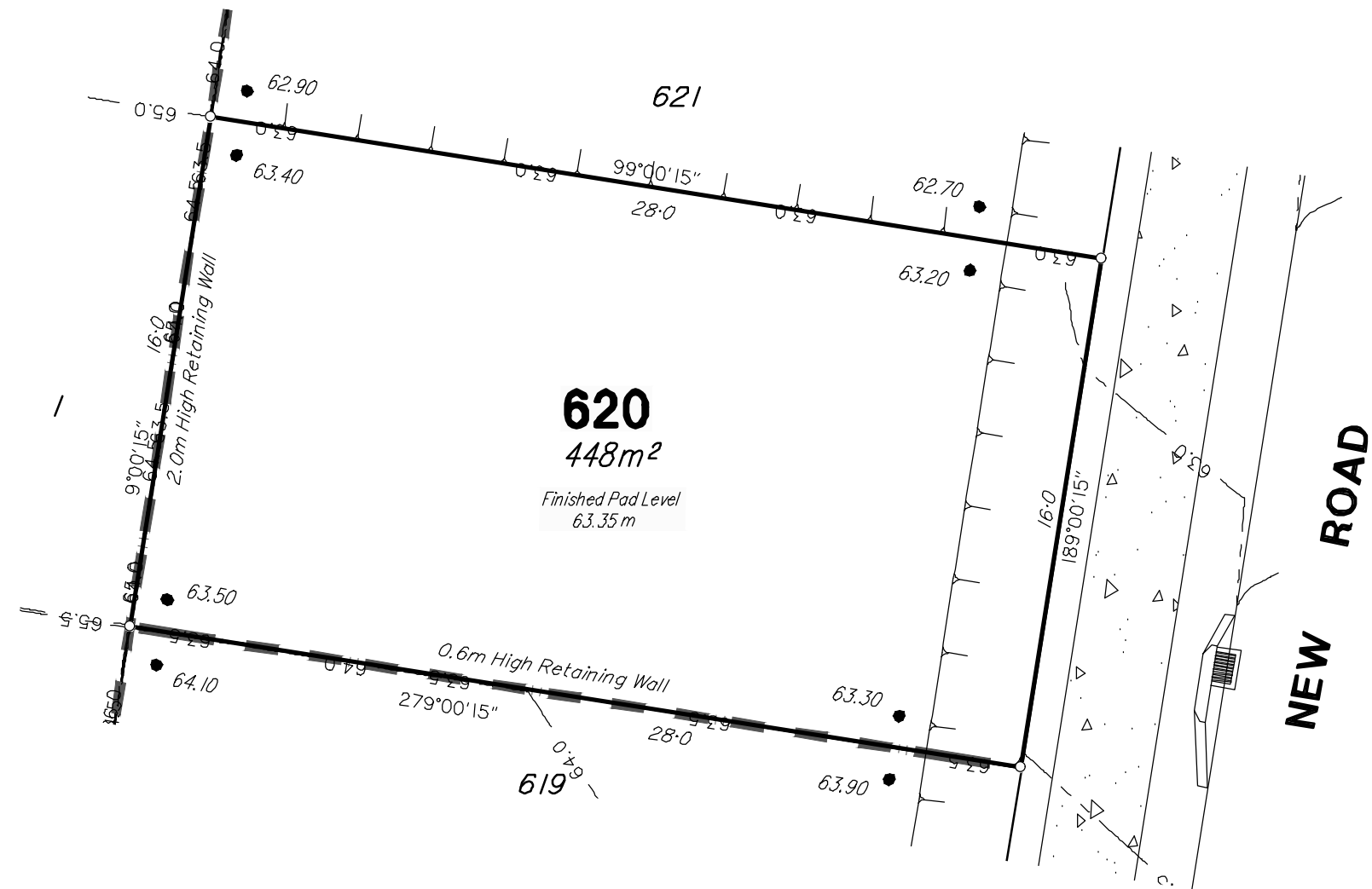
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PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

| NORTH:   |     | SCALE:   |     |
|--|-----|--|-----|
|  |     | SCALE: @ A3 1:200<br>0 2 4 6 8 10 12 14 metres<br>THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)<br>DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE |     |
| SURVEYED   | JFP | CHECKED  | RP  |
| DRAWN  | RK  | APPROVED   | MTF |
| DATUM AHD<br>ORIGIN (BM) PM58130 RL 54.763m  |     |  |     |

| ISSUES:                               |  | TITLE:                           |  |
|---------------------------------------|--|----------------------------------|--|
| B ENGINEERING AMENDMENTS 29-01-21 DWW |  | DISCLOSURE PLAN                  |  |
| A ORIGINAL ISSUE 01-12-20 RK          |  | SATTERLEY PROPERTY GROUP PTY LTD |  |
| ISSUE: DETAILS: DATE: INIT:           |  | RIPLEY VALLEY-Stage 6            |  |
|                                       |  | RIPLEY ROAD, RIPLEY              |  |

| DETAILS:                             |  | PLAN: ISSUE: |  |
|--------------------------------------|--|--------------|--|
| PROJECT: B3742S_6                    |  | 37 B         |  |
| SHEET: 19 OF 41                      |  |              |  |
| FILE: B3742-37B_Stg 6 Disclosure.dwg |  |              |  |
| DATE: 29th January 2021              |  |              |  |




NORTH  
LOCATION  
DIAGRAM  
Not To Scale

## IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 620 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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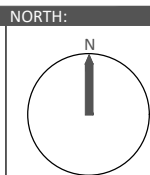
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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|                      |
|----------------------|
| PLANNERS             |
| URBAN DESIGNERS      |
| SURVEYORS            |
| ENGINEERS            |
| LANDSCAPE ARCHITECTS |



| SCALE: @ A3 1:200  |     |          |     |                                |
|--|-----|----------|-----|--------------------------------|
| 0 2 4 6 8 10 12 14 metres  |     |          |     |                                |
| SCALE 1:200 at (A3) size   |     |          |     |                                |
| THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)                                     |     |          |     |                                |
| DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE |     |          |     |                                |
| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

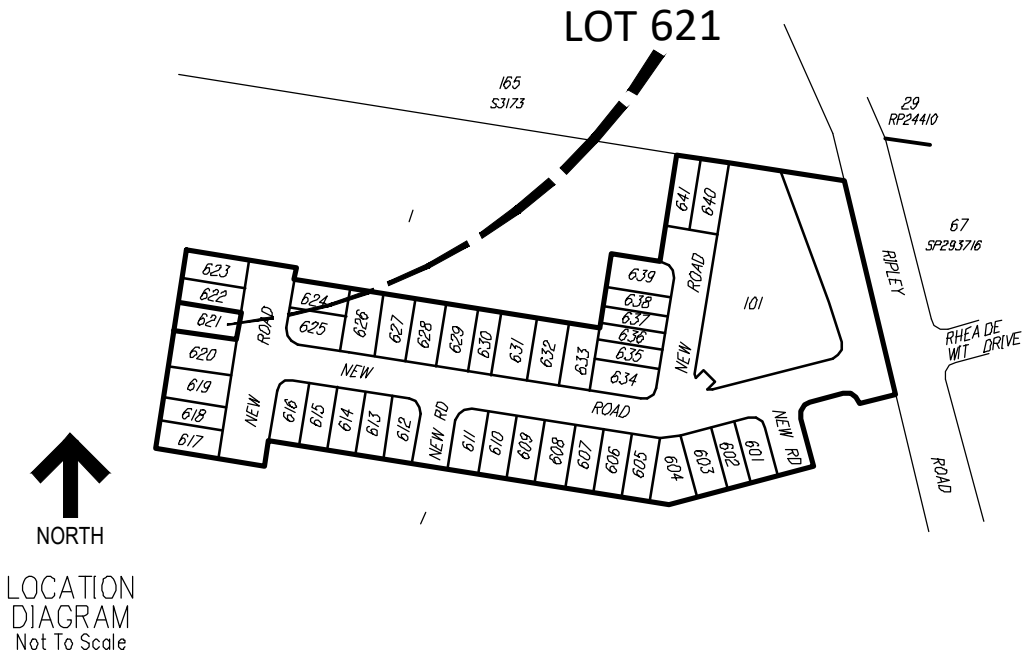
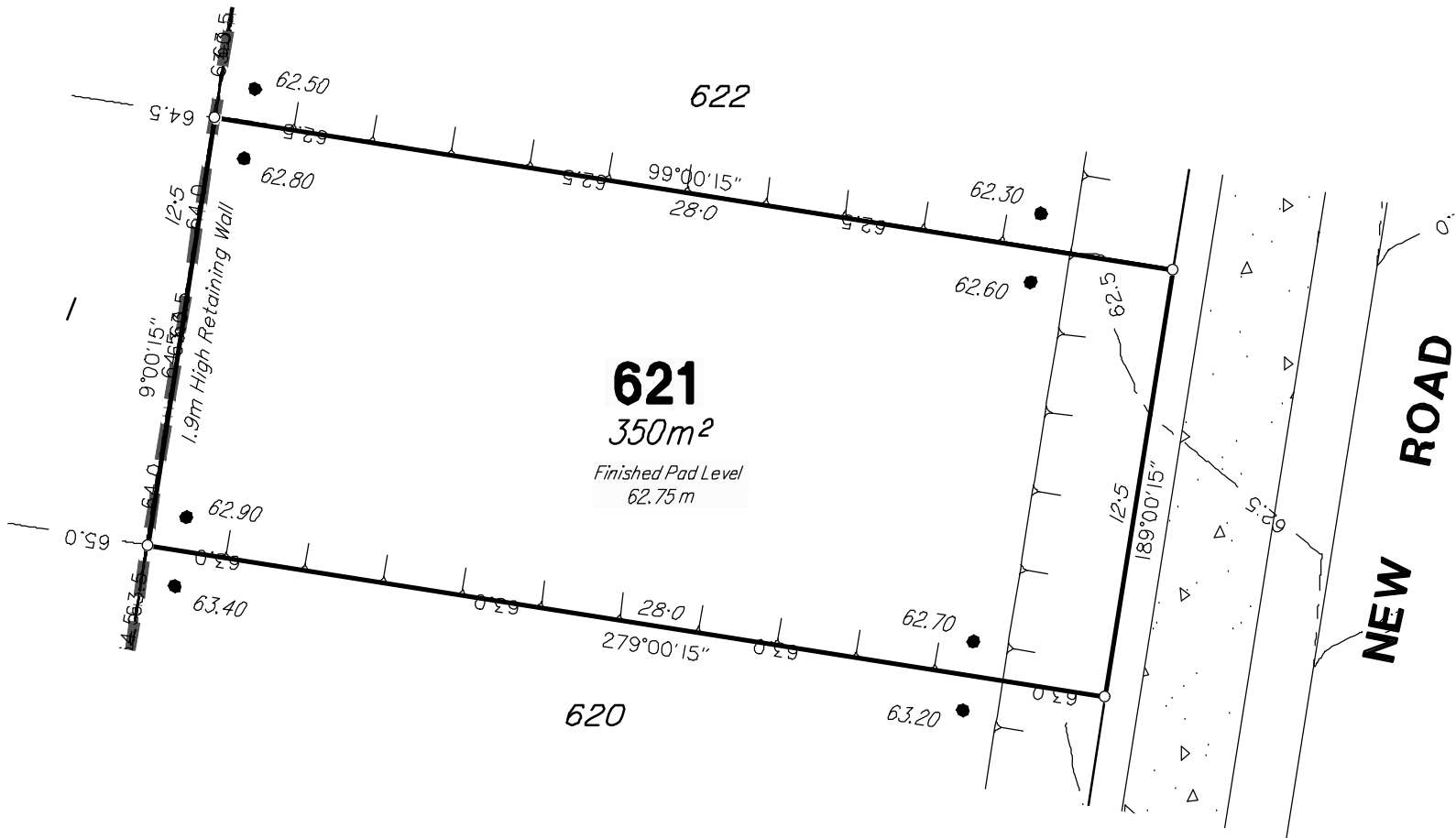
TITLE:  
**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**RIPLEY ROAD, RIPLEY**

| DETAILS: |                                |
|----------|--------------------------------|
| PROJECT: | PLAN: 37 B                     |
| SHEET:   | 20 OF 41                       |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |
| DATE:    | 29th January 2021              |



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- (2) This plan shows details of Proposed Allotment 621 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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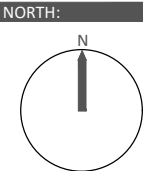
CONTOUR INTERVAL: 0.5m


| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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|                      |
|----------------------|
| PLANNERS             |
| URBAN DESIGNERS      |
| SURVEYORS            |
| ENGINEERS            |
| LANDSCAPE ARCHITECTS |



| SCALE:   |     |          |     |                                |
|--|-----|----------|-----|--------------------------------|
| SCALE: @ A3 1:200  |     |          |     |                                |
|       |     |          |     |                                |
| THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)                                     |     |          |     |                                |
| DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE |     |          |     |                                |
| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

TITLE:

**DISCLOSURE PLAN**

**SATTERLEY PROPERTY GROUP PTY LTD**

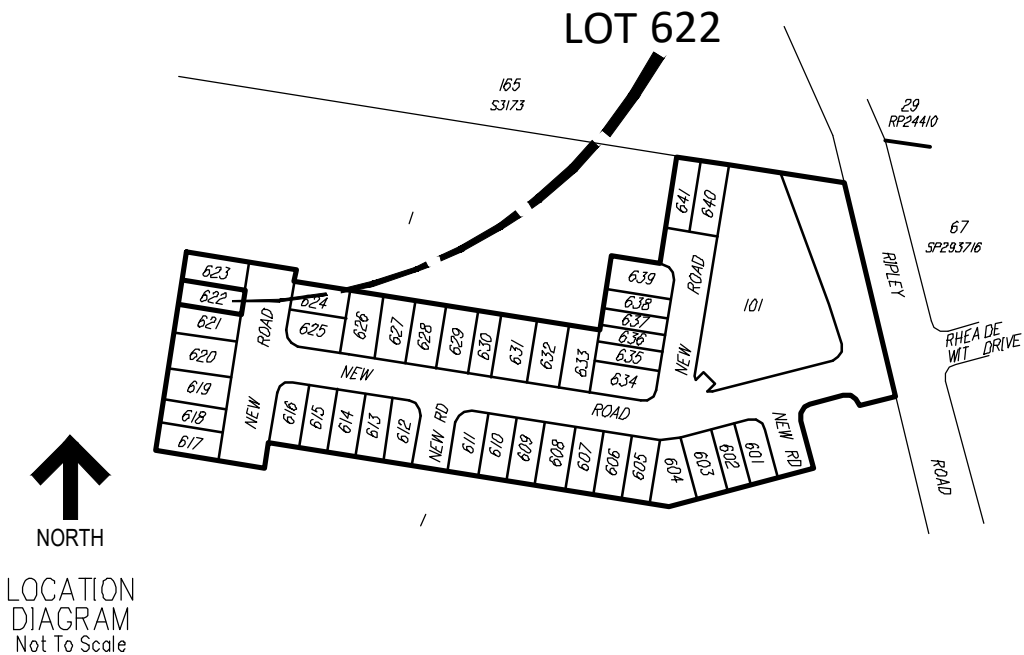
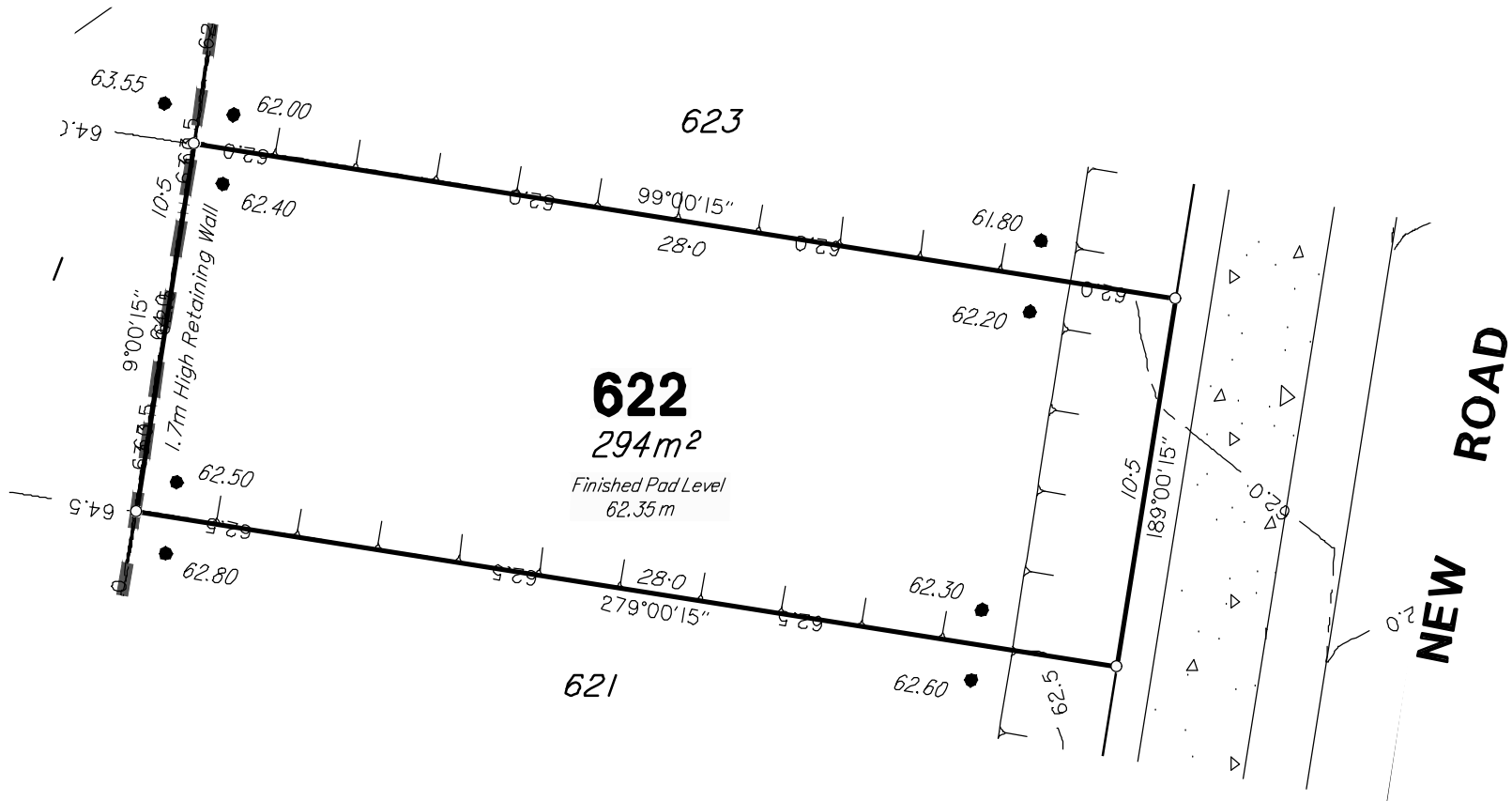
**RIPLEY VALLEY-Stage 6**

**RIPLEY ROAD, RIPLEY**

| DETAILS: |                                |
|----------|--------------------------------|
| PROJECT: | PLAN: 37 B                     |
| SHEET:   | 21 OF 41                       |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |
| DATE:    | 29th January 2021              |

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- (2) This plan shows details of Proposed Allotment 622 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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CONTOUR INTERVAL: 0.5m

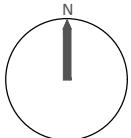
| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|         | PROPOSED<br>RETAINING WALL                                |
|         | TOP<br>BATTER   |



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PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14  
metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

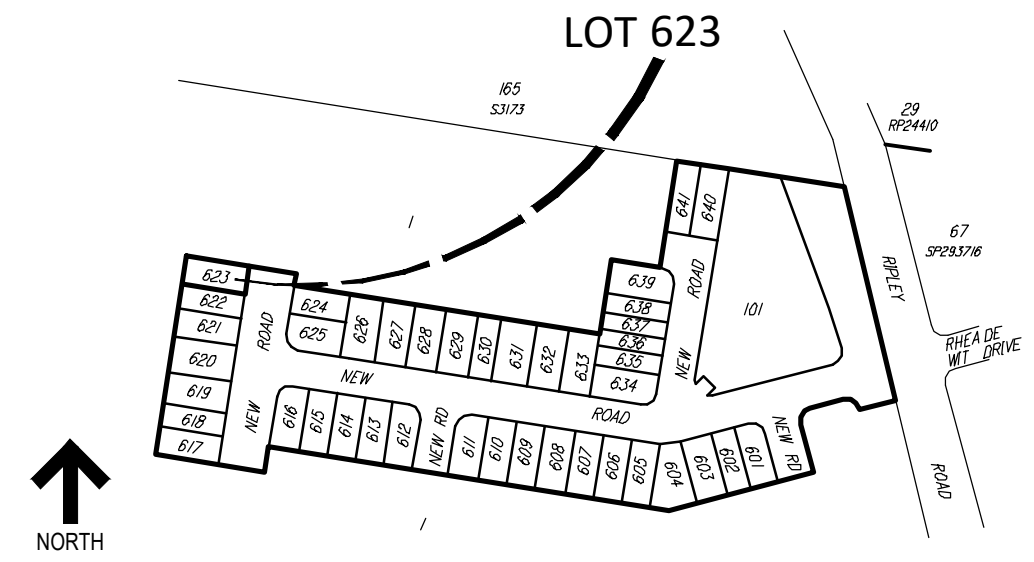
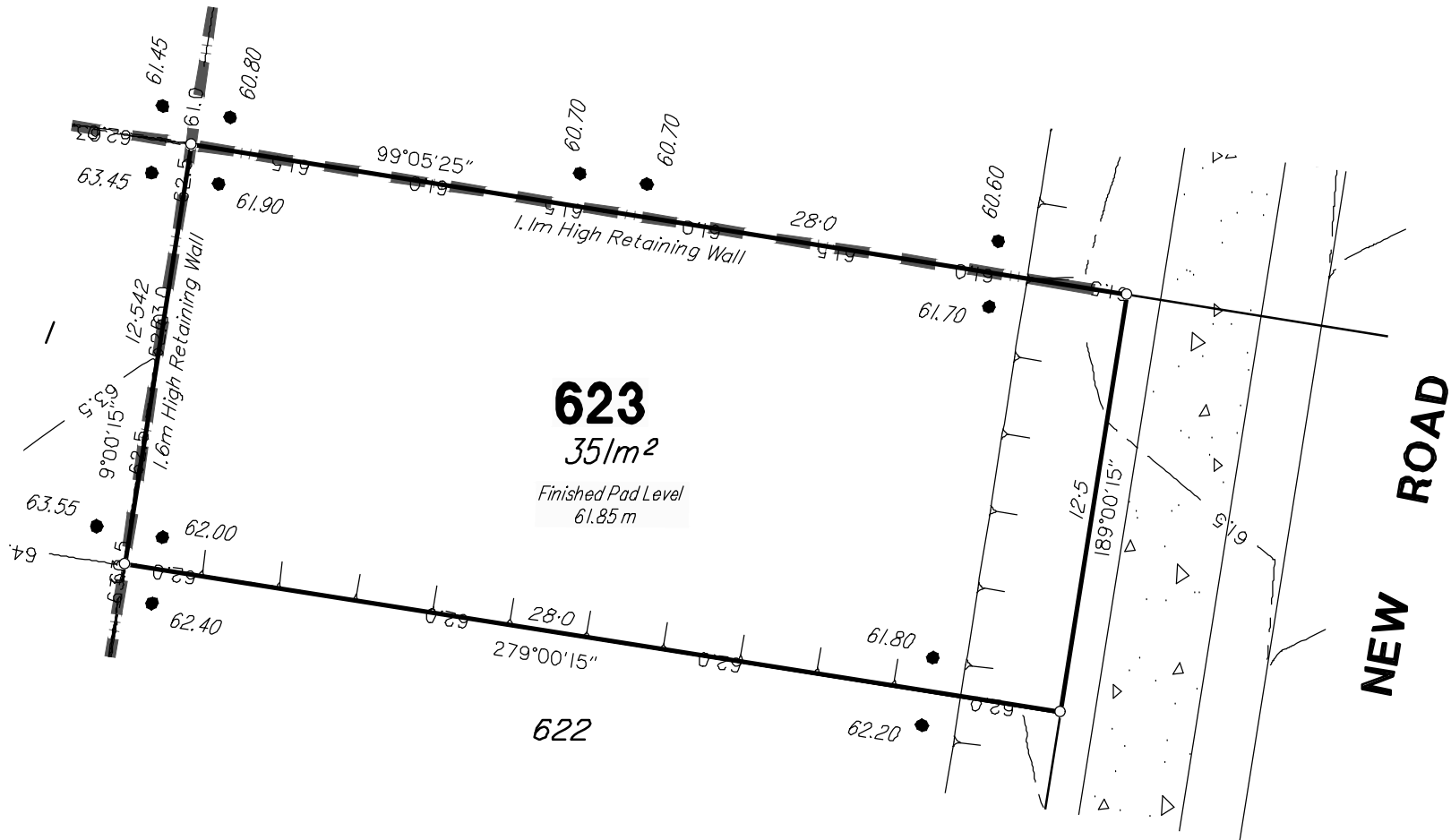
DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S\_6  
SHEET: 22 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:

IMPORTANT NOTES

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NORTH  
LOCATION  
DIAGRAM  
Not To Scale

CONTOUR INTERVAL: 0.5m

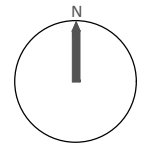
| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|         | PROPOSED<br>RETAINING WALL                                |
|         | TOP<br>BATTER   |



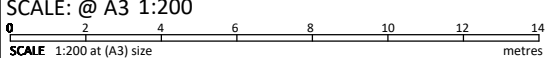
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URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE: @ A3 1:200



0 2 4 6 8 10 12 14 metres

SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

TITLE:

DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
RIPLEY ROAD, RIPLEY

PLAN: 37 B

ISSUE:

DETAILS:

PROJECT: B3742S\_6

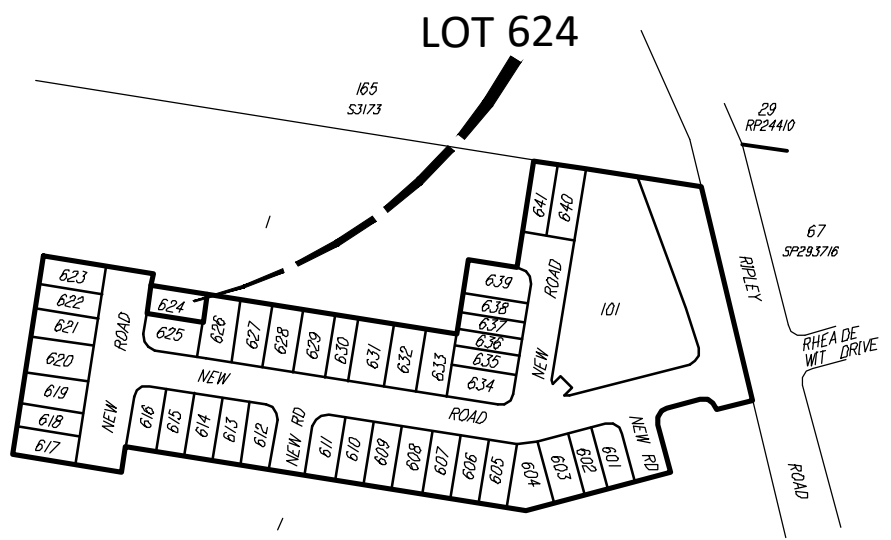
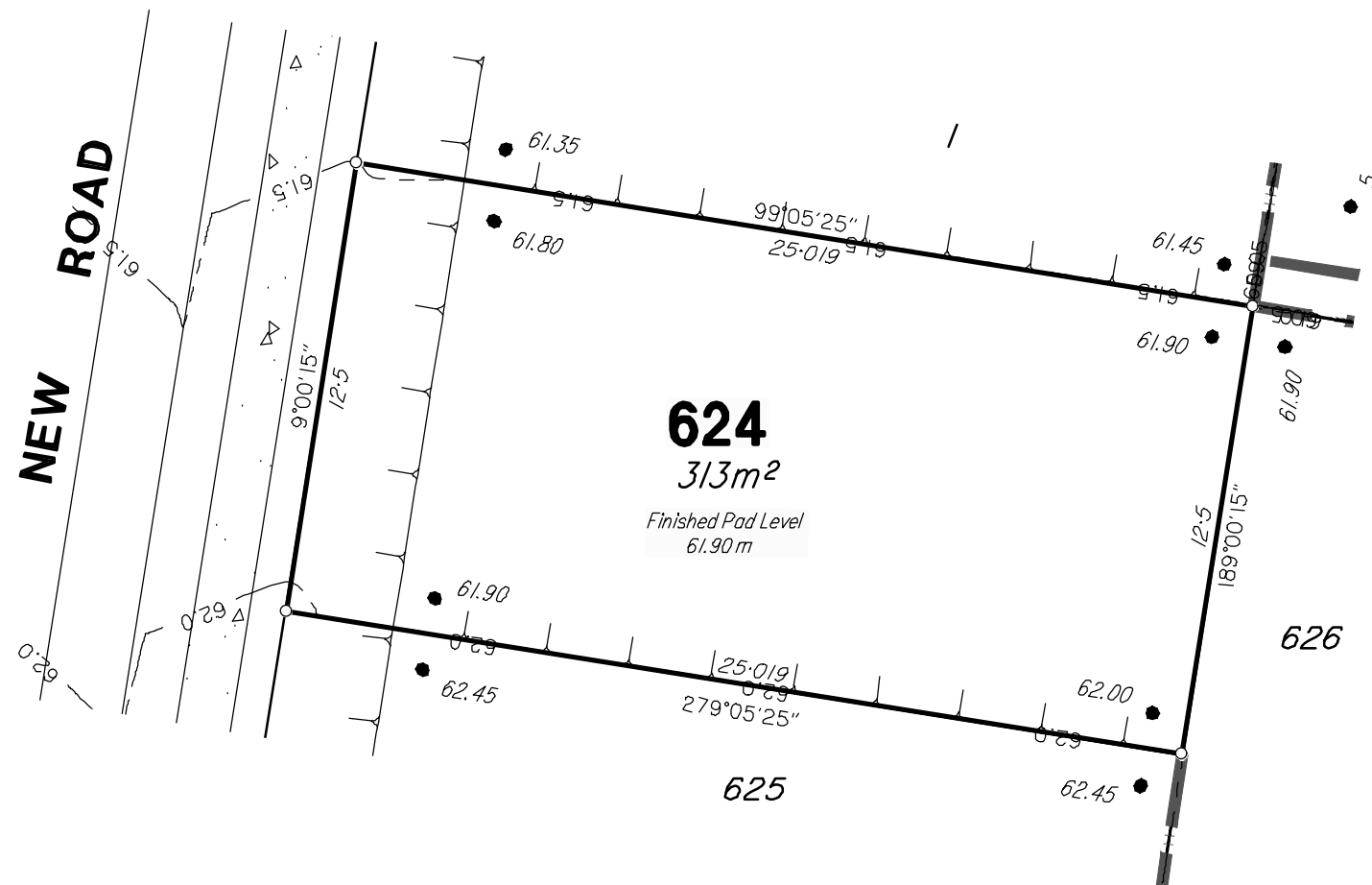
SHEET: 23 OF 41

FILE: B3742-37B\_Stg 6 Disclosure.dwg

DATE: 29th January 2021

PLAN: 37 B

ISSUE:



LOCATION  
DIAGRAM  
Not To Scale

## IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 624 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

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PLANNERS

URBAN DESIGNERS

SURVEYORS

ENGINEERS

LANDSCAPE ARCHITECTS

NORTH:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14 metres

SCALE 1:200 at (A3) size

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)

DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

|   |                        |          |     |
|---|------------------------|----------|-----|
| B | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A | ORIGINAL ISSUE         | 01-12-20 | RK  |

ISSUE: DETAILS: DATE: INIT:

TITLE:

**DISCLOSURE PLAN**

**SATTERLEY PROPERTY GROUP PTY LTD**

**RIPLEY VALLEY-Stage 6**

**RIPLEY ROAD, RIPLEY**

DETAILS:

PROJECT: B3742S\_6

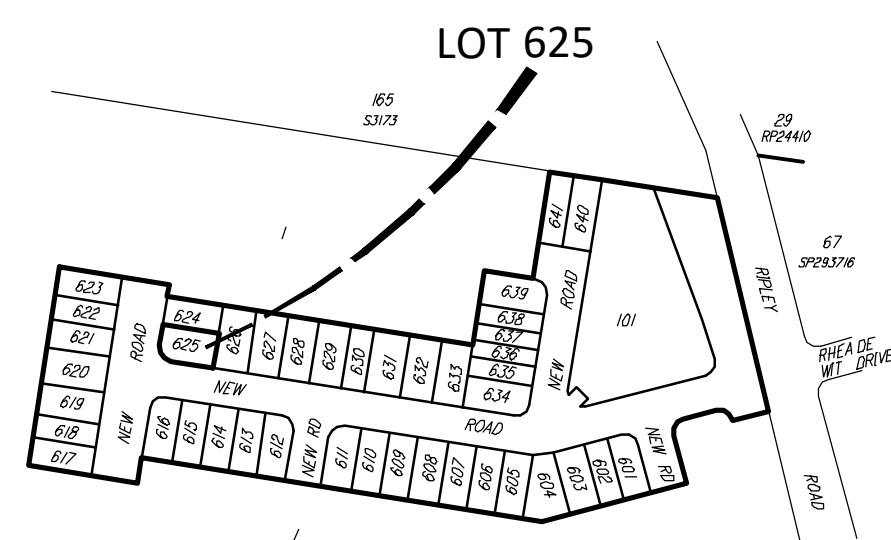
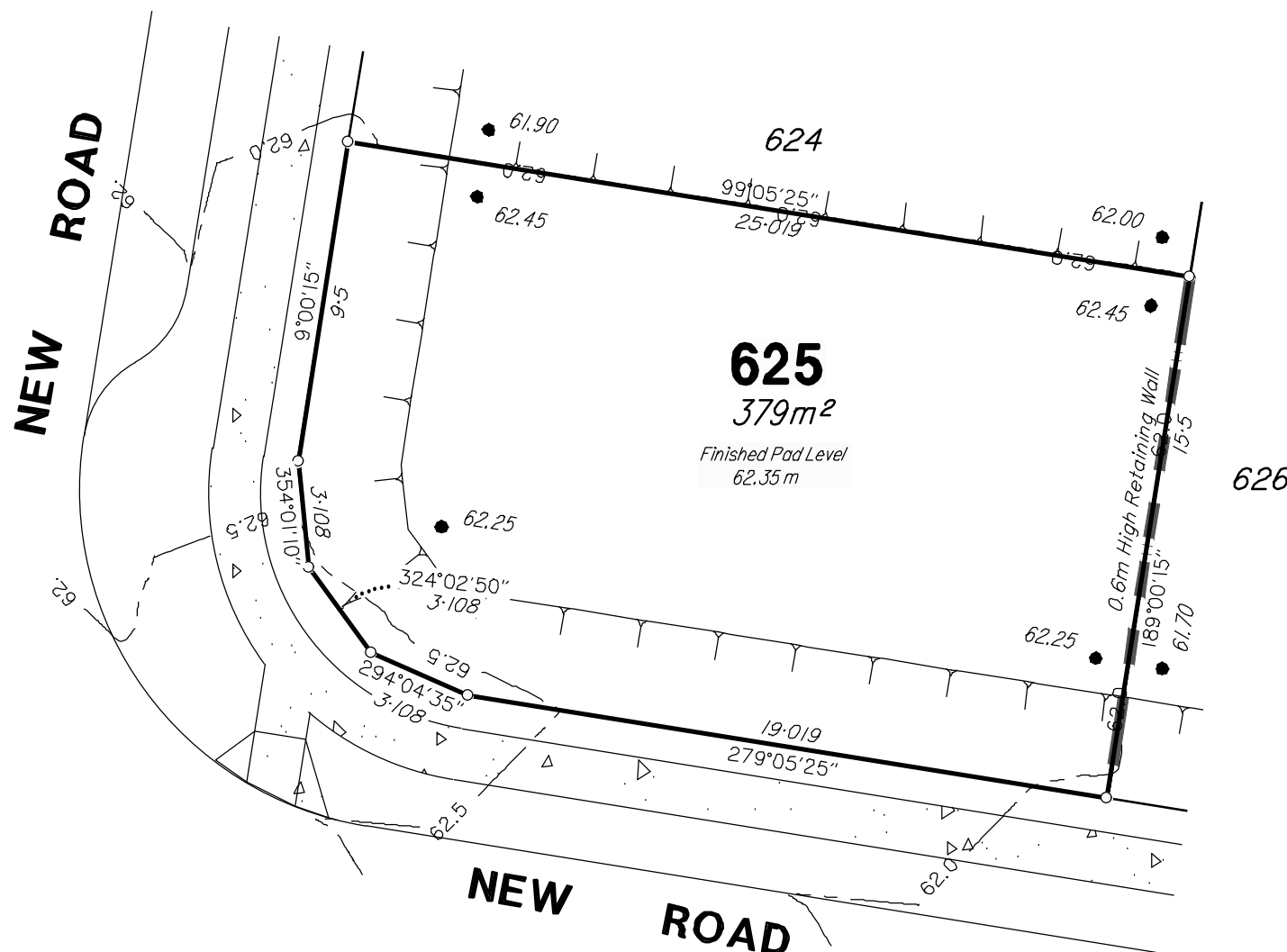
PLAN: 37 B

SHEET: 24 OF 41

FILE: B3742-37B\_Stg 6 Disclosure.dwg

DATE: 29th January 2021






↑  
NORTH  
LOCATION  
DIAGRAM  
Not To Scale

## IMPORTANT NOTES

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CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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PLANNERS

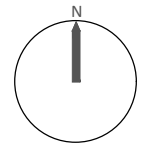
URBAN DESIGNERS

SURVEYORS

ENGINEERS

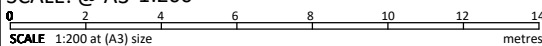
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200



0 2 4 6 8 10 12 14 metres

SCALE 1:200 at (A3) size

THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)

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|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

|   |                        |          |     |
|---|------------------------|----------|-----|
| B | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A | ORIGINAL ISSUE         | 01-12-20 | RK  |

ISSUE: DETAILS: DATE: INIT:

TITLE:

**DISCLOSURE PLAN**

**SATTERLEY PROPERTY GROUP PTY LTD**

**RIPLEY VALLEY-Stage 6**

**RIPLEY ROAD, RIPLEY**

DETAILS:

PROJECT: B3742S\_6

SHEET: 25 OF 41

FILE: B3742-37B\_Stg 6 Disclosure.dwg

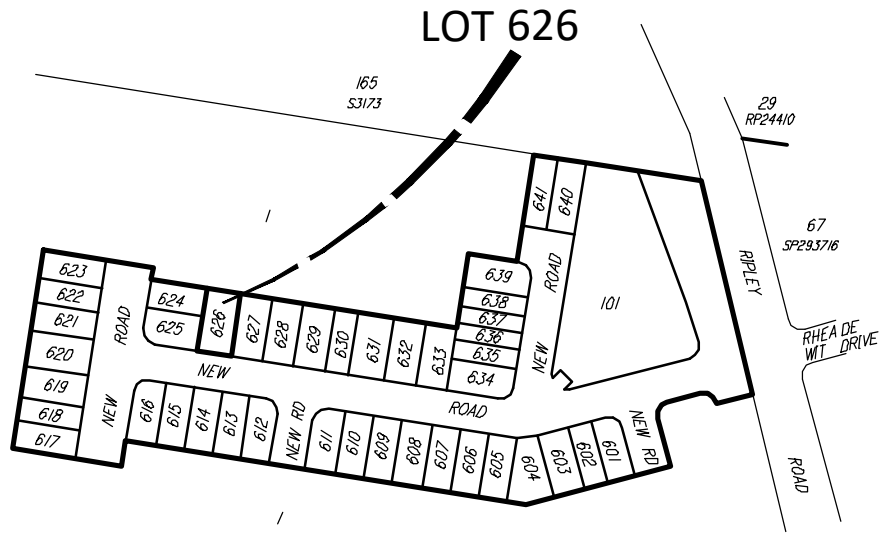
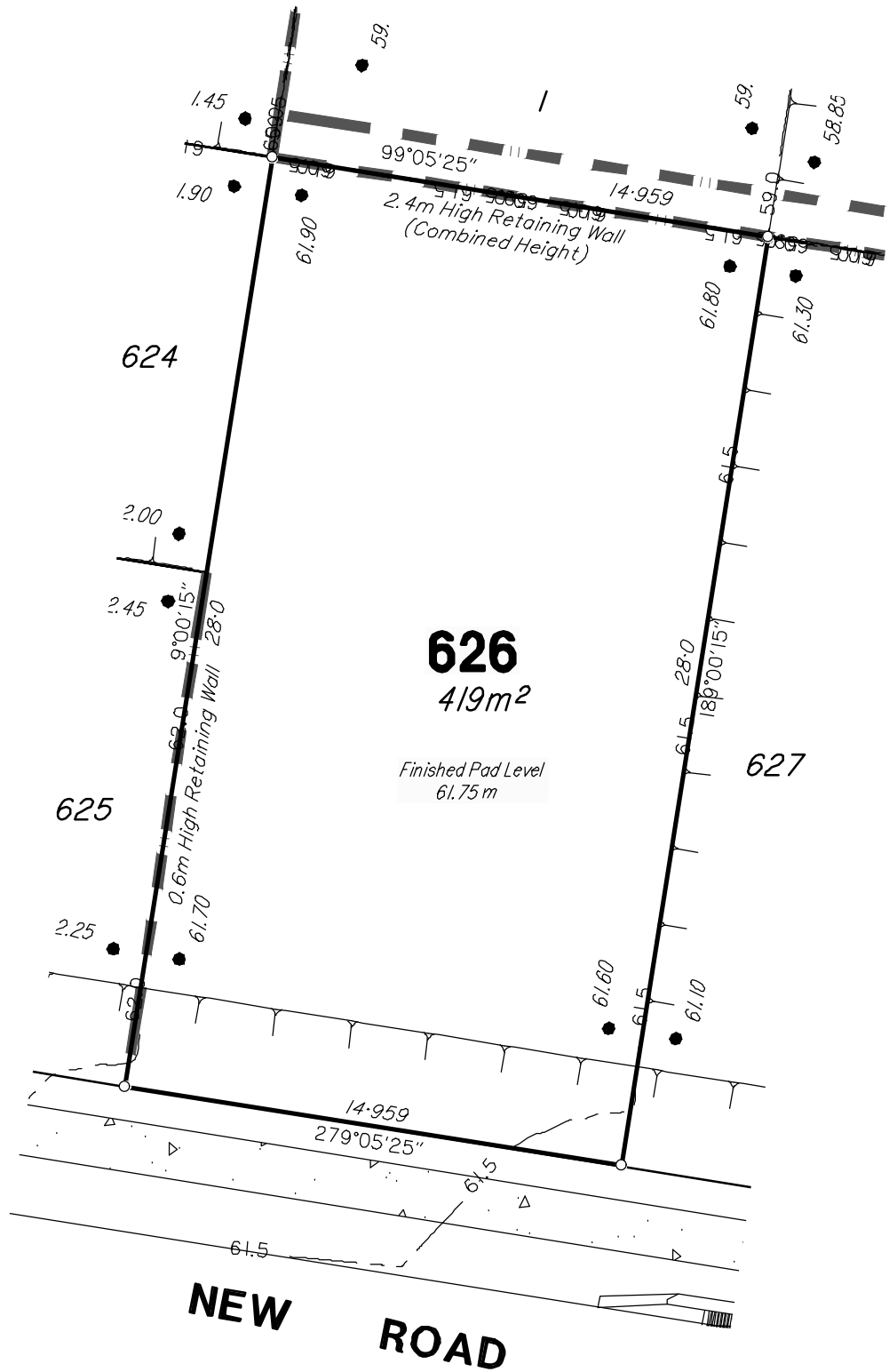
DATE: 29th January 2021

PLAN: 37 B

ISSUE:

IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 626 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
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- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
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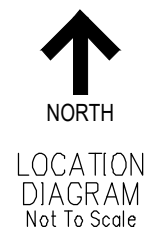
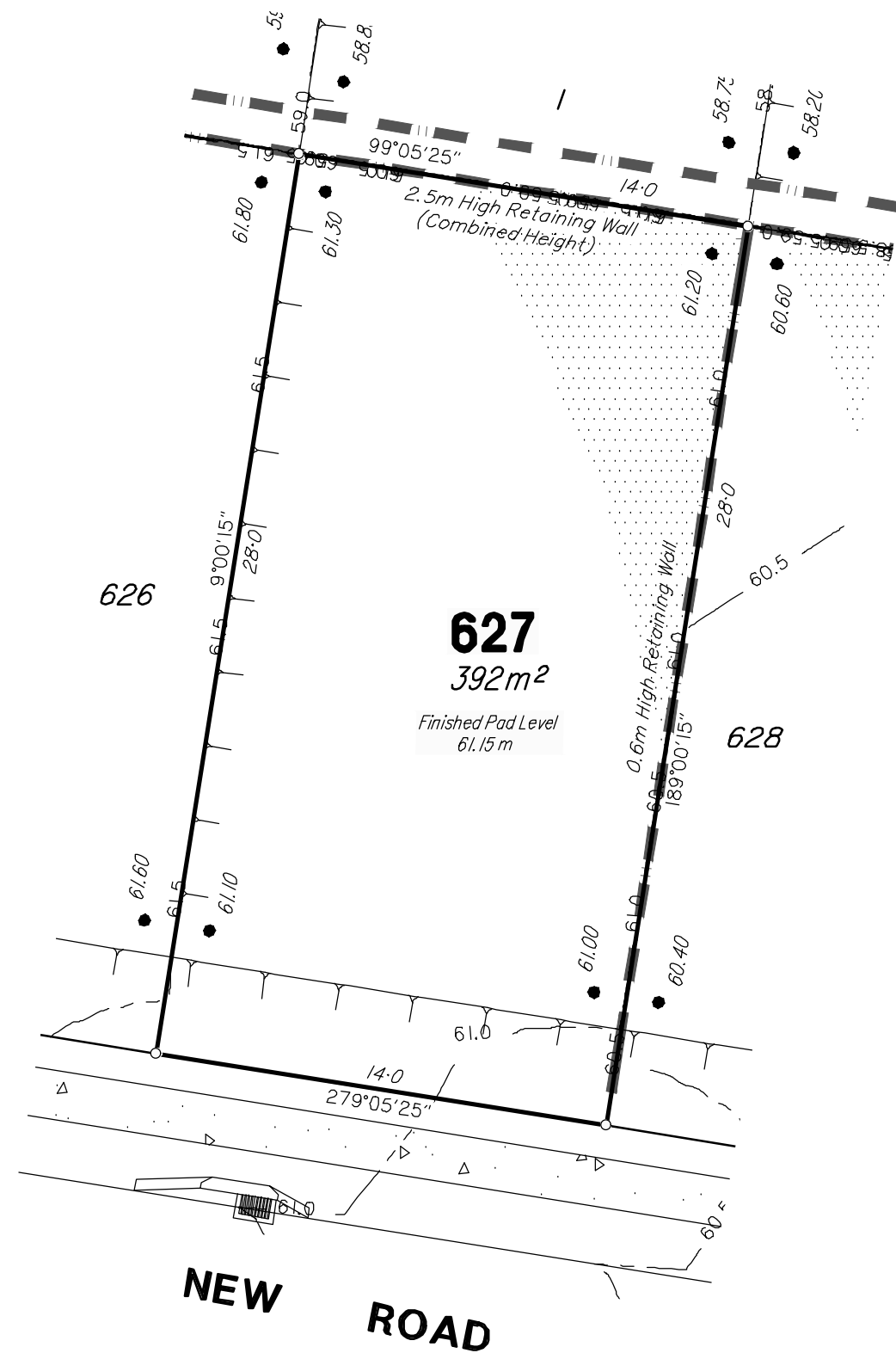
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LEGEND:

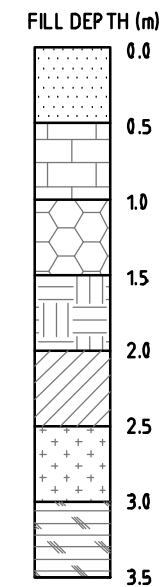
DESIGNED CONTOURS  
(as at the completion of the work)

PROPOSED  
RETAINING WALL

TOP  
BATTER



#### DESIGNED FILL DEPTHS



#### IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 627 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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CONTOUR INTERVAL: 0.5m

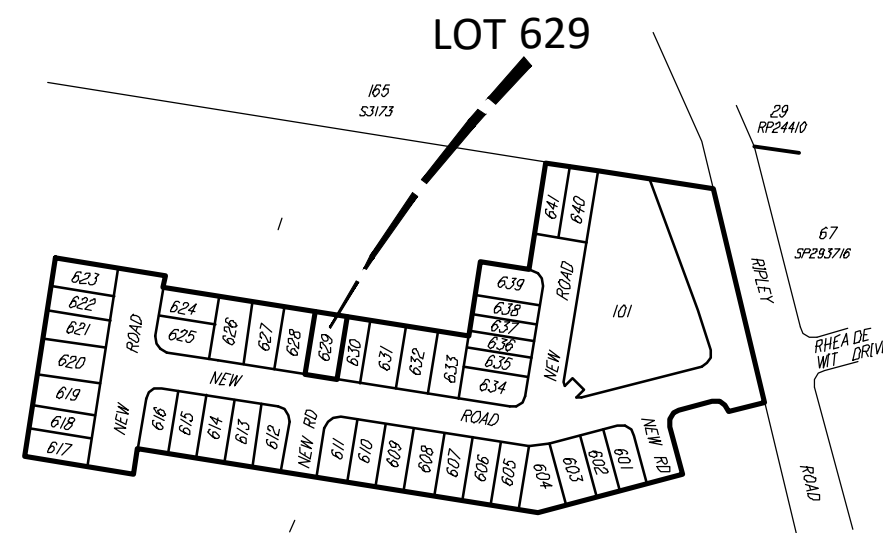
| LEGEND: |   |
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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |








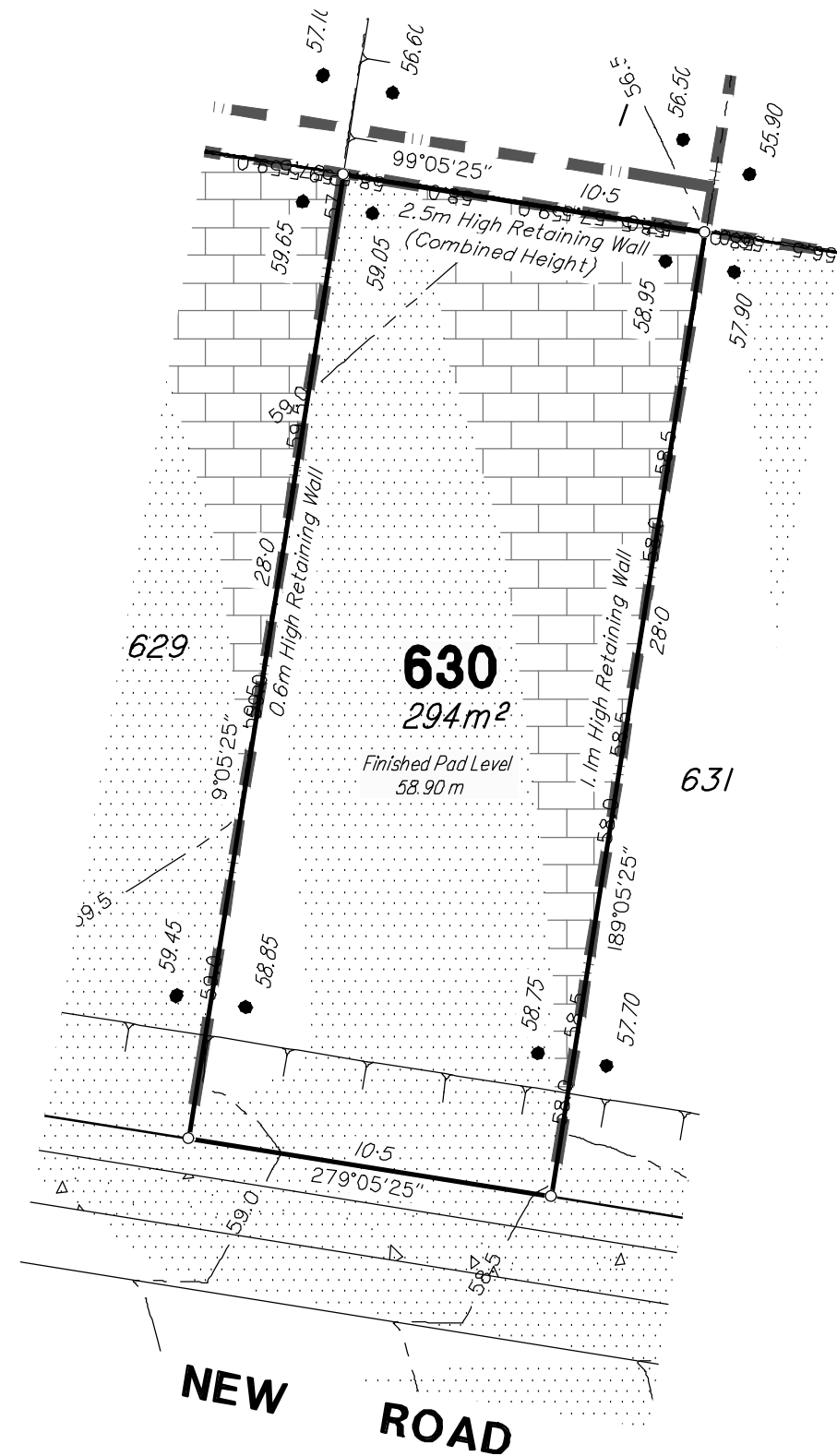


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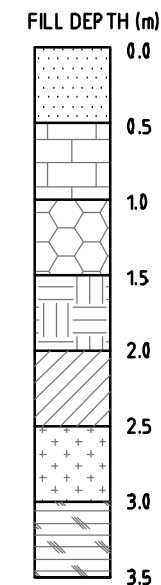


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|  | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|  | PROPOSED<br>RETAINING WALL                                |
|  | TOP<br>BATTER   |



#### DESIGNED FILL DEPTHS



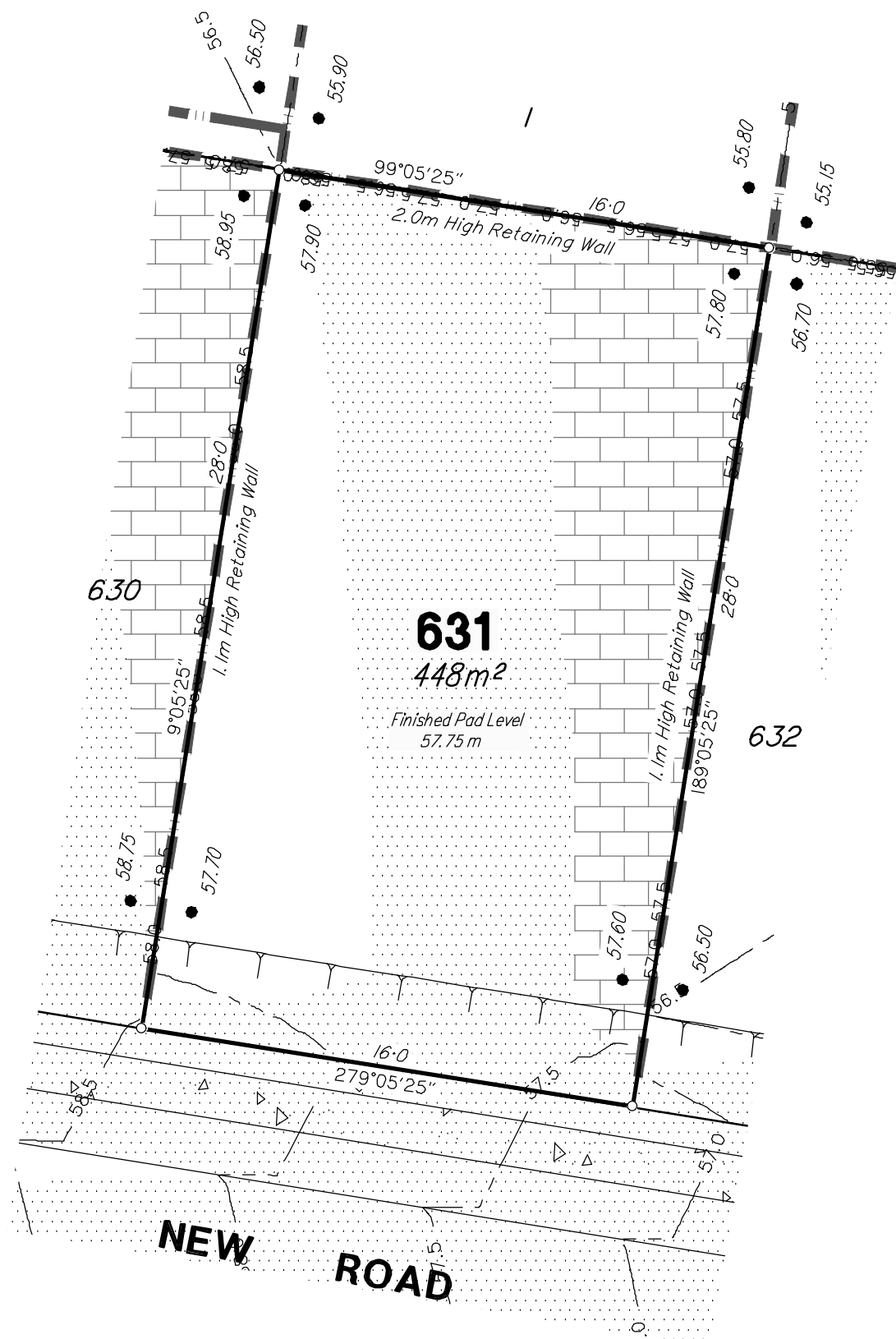
#### IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 630 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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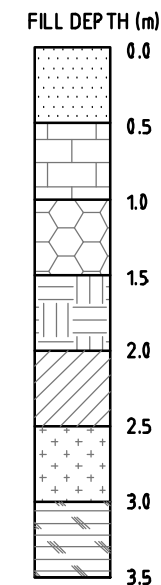
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |





#### DESIGNED FILL DEPTHS



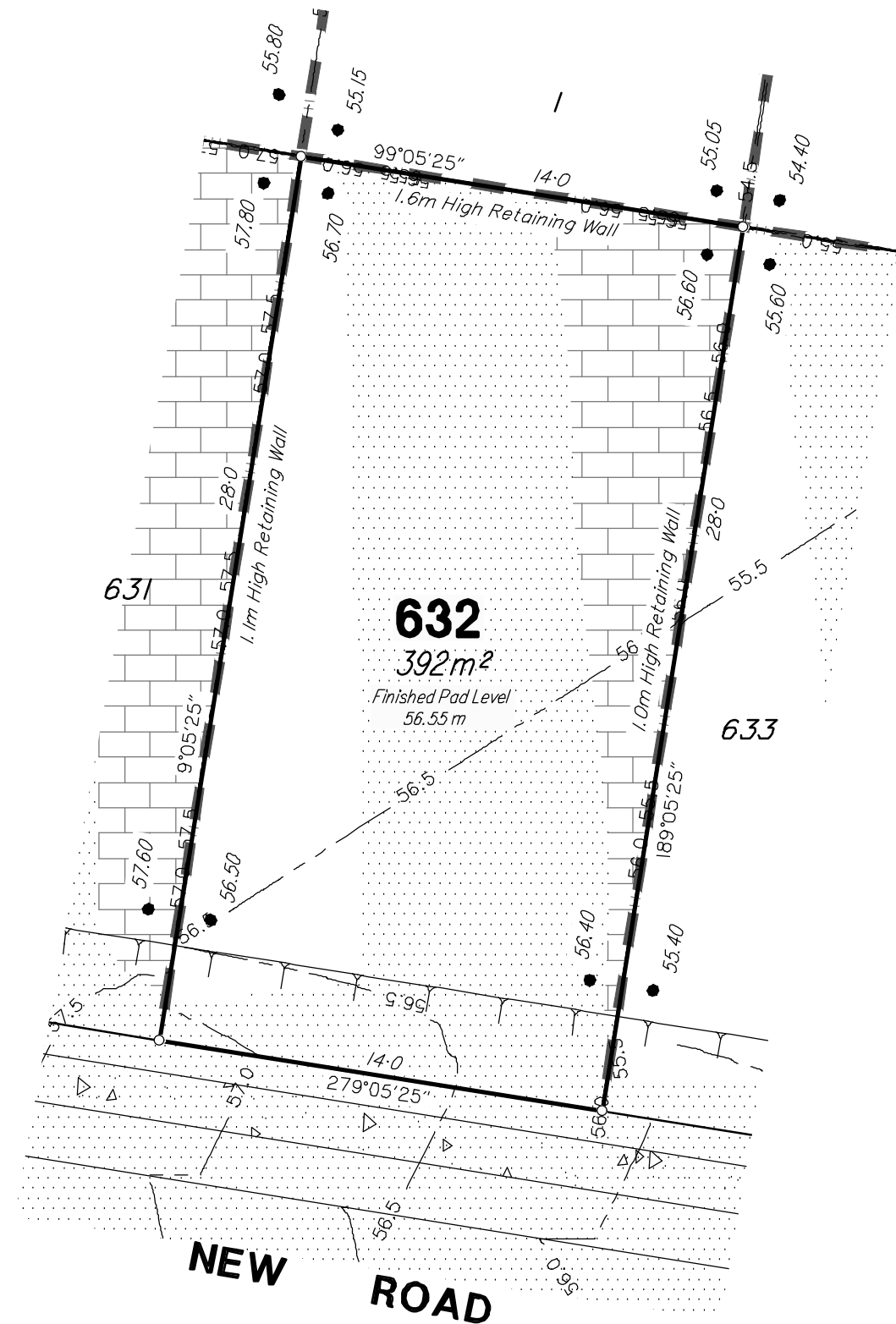
#### IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 631 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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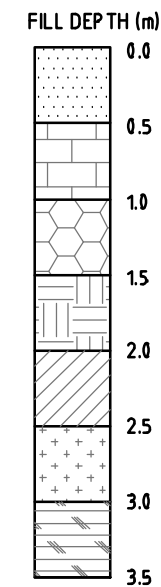
CONTOUR INTERVAL: 0.5m

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#### DESIGNED FILL DEPTHS



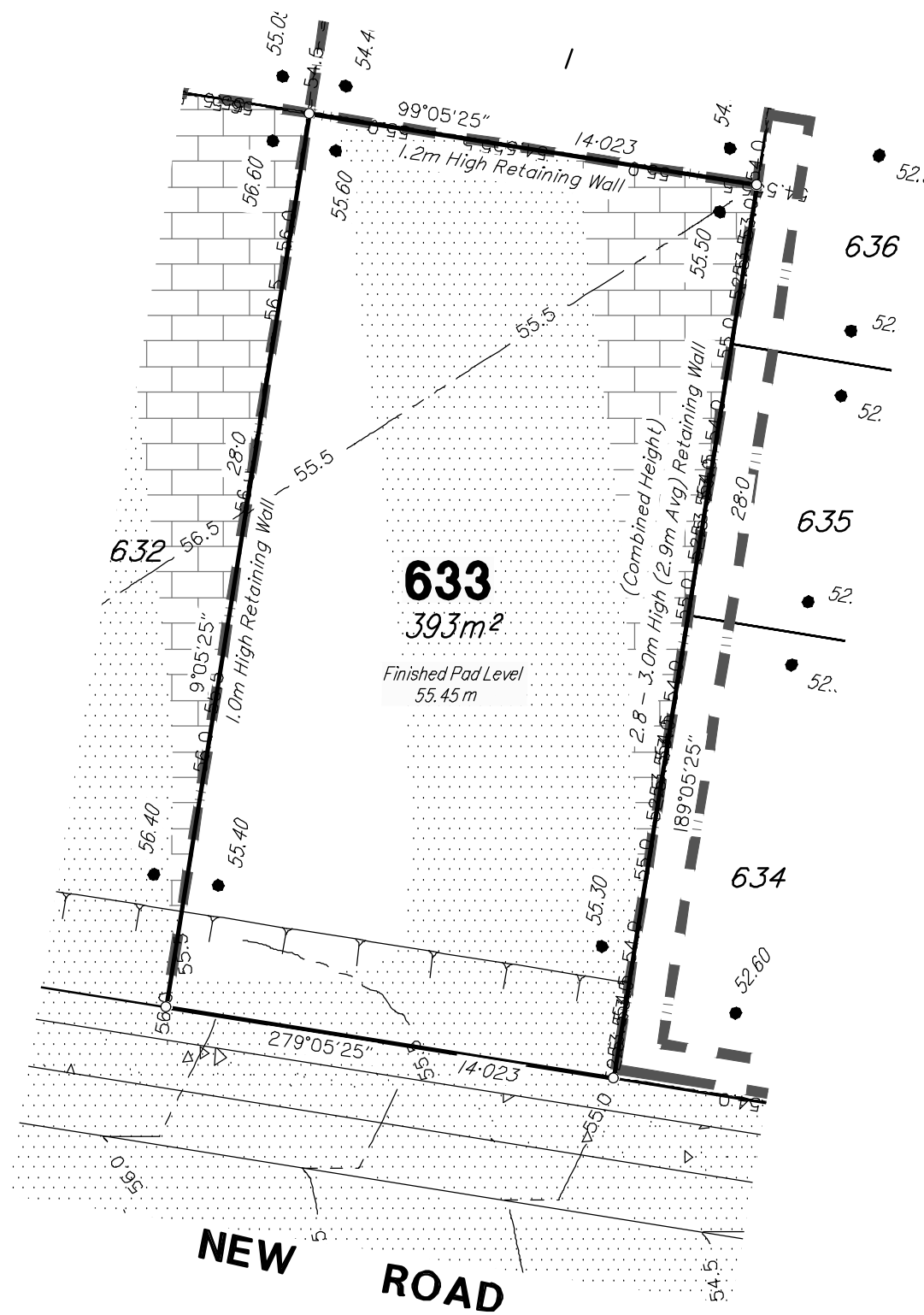
#### IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 632 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
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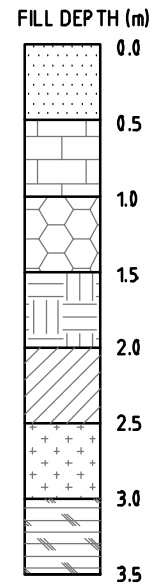
CONTOUR INTERVAL: 0.5m

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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |





DESIGNED FILL DEPTHS



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- (2) This plan shows details of Proposed Allotment 633 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
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|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

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SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:

SCALE: @ A3 1:200  
0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

|   |                        |          |     |
|---|------------------------|----------|-----|
| B | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A | ORIGINAL ISSUE         | 01-12-20 | RK  |

ISSUE: DETAILS: DATE: INIT:

TITLE:

DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
459 - 489 RIPLEY ROAD, RIPLEY

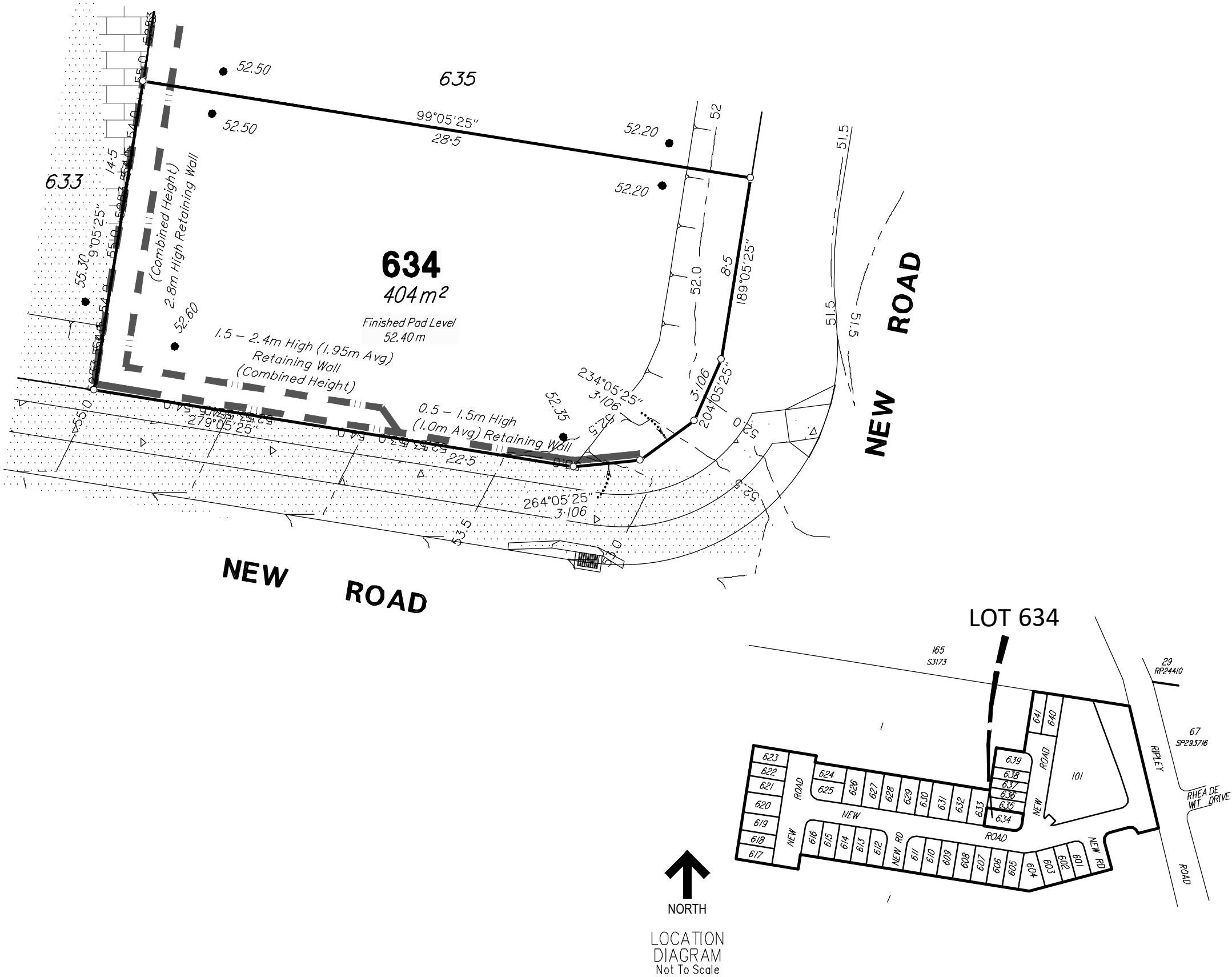
DETAILS:

PROJECT: B3742S\_6  
SHEET: 33 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021

PLAN: 37 B  
ISSUE:

IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
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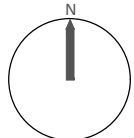
| LEGEND: |   |
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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:



SCALE:

SCALE: @ A3 1:200

0 2 4 6 8 10 12 14  
metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
|----------|-----|----------|-----|-------------|--------------------|
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

| ISSUE: | DETAILS:               | DATE:    | INIT: |
|--------|------------------------|----------|-------|
| B      | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A      | ORIGINAL ISSUE         | 01-12-20 | RK    |

TITLE:

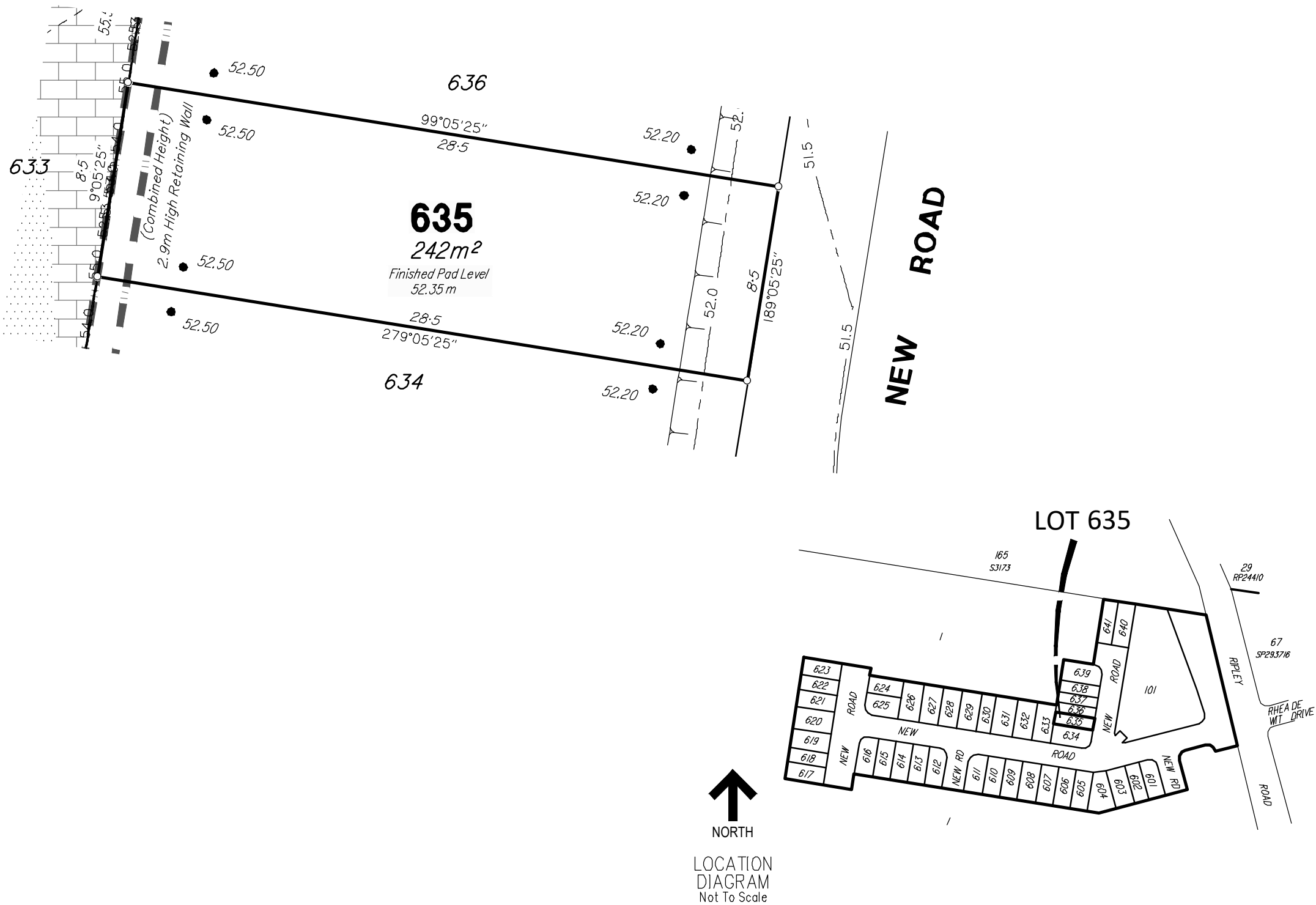
DISCLOSURE PLAN  
SATTERLEY PROPERTY GROUP PTY LTD  
RIPLEY VALLEY-Stage 6  
RIPLEY ROAD, RIPLEY

DETAILS:

PROJECT: B3742S\_6  
SHEET: 34 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021  
PLAN: 37 B  
ISSUE:

IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 635 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
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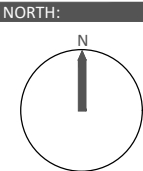
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
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|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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ENGINEERS  
LANDSCAPE ARCHITECTS



| SCALE:   |     |          |     |                                |
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| SCALE: @ A3 1:200  |     |          |     |                                |
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| THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)                                     |     |          |     |                                |
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| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

TITLE:  
**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**RIPLEY ROAD, RIPLEY**

| DETAILS: |                                |
|----------|--------------------------------|
| PROJECT: | PLAN: 37 B                     |
| SHEET:   | 35 OF 41                       |
| FILE:    | B3742-37B_Stg 6 Disclosure.dwg |
| DATE:    | 29th January 2021              |

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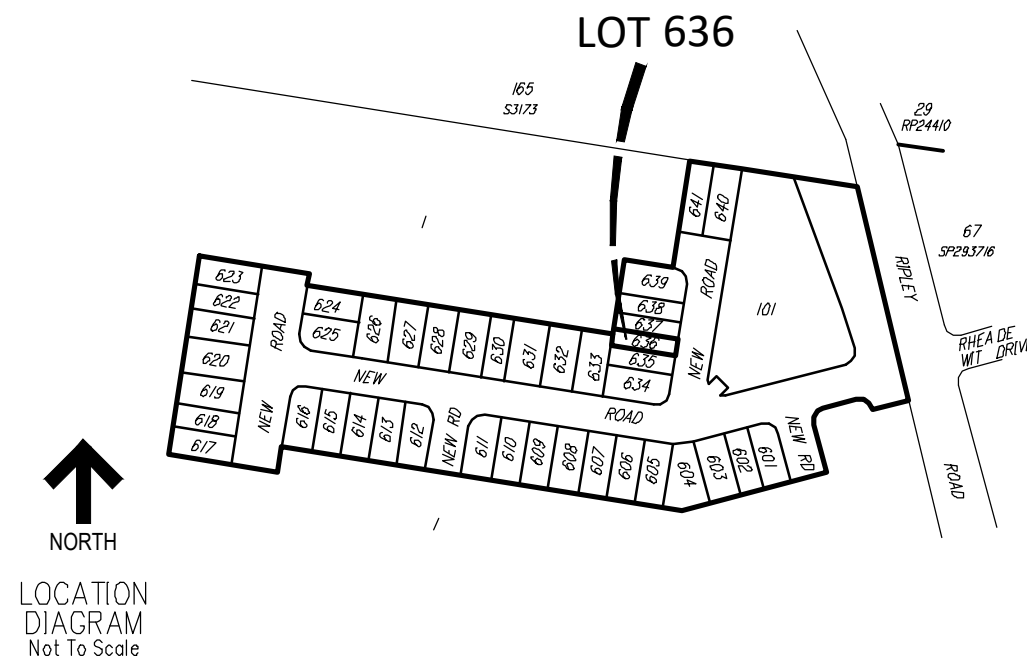
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The site plan for Lot 636 is a trapezoidal lot with the following details:

- Lot Identification:** Lot 636, 214m<sup>2</sup>, Finished Pad Level 52.35 m.
- Boundaries:**
  - North boundary: 99°05'25" angle, 28.5 m length, adjacent to Lot 637.
  - East boundary: 189°05'25" angle, 51.5 m length, adjacent to Lot 635.
  - South boundary: 279°05'25" angle, 28.5 m length, adjacent to Lot 635.
  - West boundary: 9°05'25" angle, 51.5 m length, adjacent to Lot 633.
- Surrounding Features:**
  - Lot 637 (North):** Features a 1.8m High Retaining Wall (Combined Height) and a 0.4m High Retaining Wall.
  - Lot 635 (South):** Features a 3.0m High Retaining Wall (Combined Height).
  - Lot 633 (West):** Features a 0.4m High Retaining Wall.
- Topography:** Spot heights are marked at various points: 52.00, 52.20, 52.50, and 55.50.
- Orientation:** A north arrow is located in the top right corner, pointing towards the top right of the plan.
- Adjacent Road:** NEW ROAD is shown to the east of Lot 635.



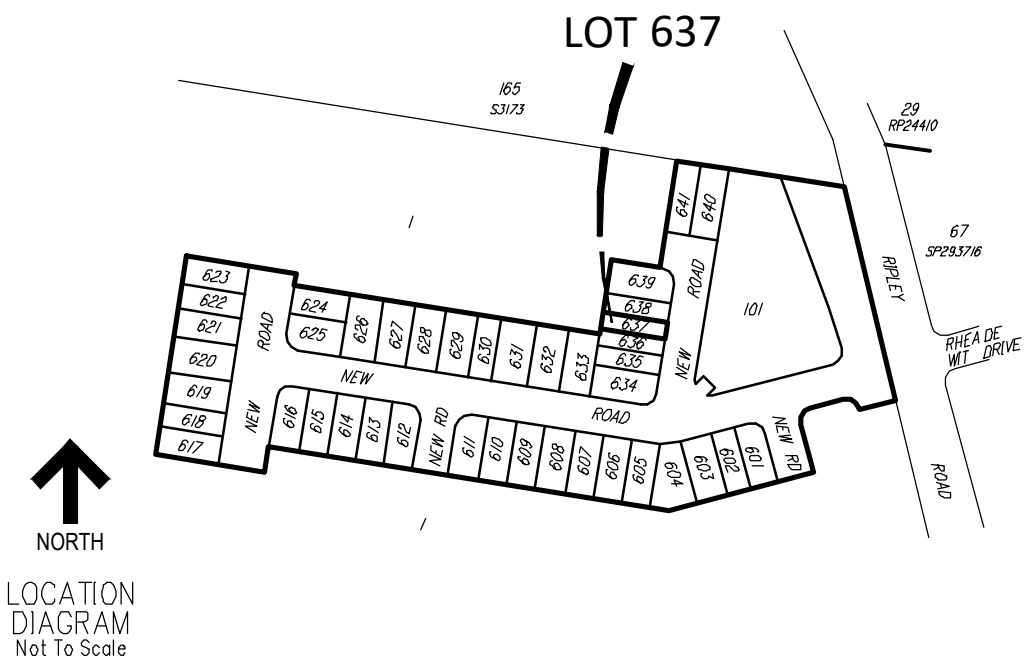
LEGEND:

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|  | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|  | PROPOSED<br>RETAINING WALL                                |
|  | TOP<br>BATTER   |



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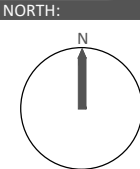
CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
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|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |



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| SCALE:   |     |          |     |                                |
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| SCALE: @ A3 1:200  |     |          |     |                                |
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| SURVEYED   | JFP | CHECKED  | RP  | DATUM AHD                      |
| DRAWN  | RK  | APPROVED | MTF | ORIGIN (BM) PM58130 RL 54.763m |

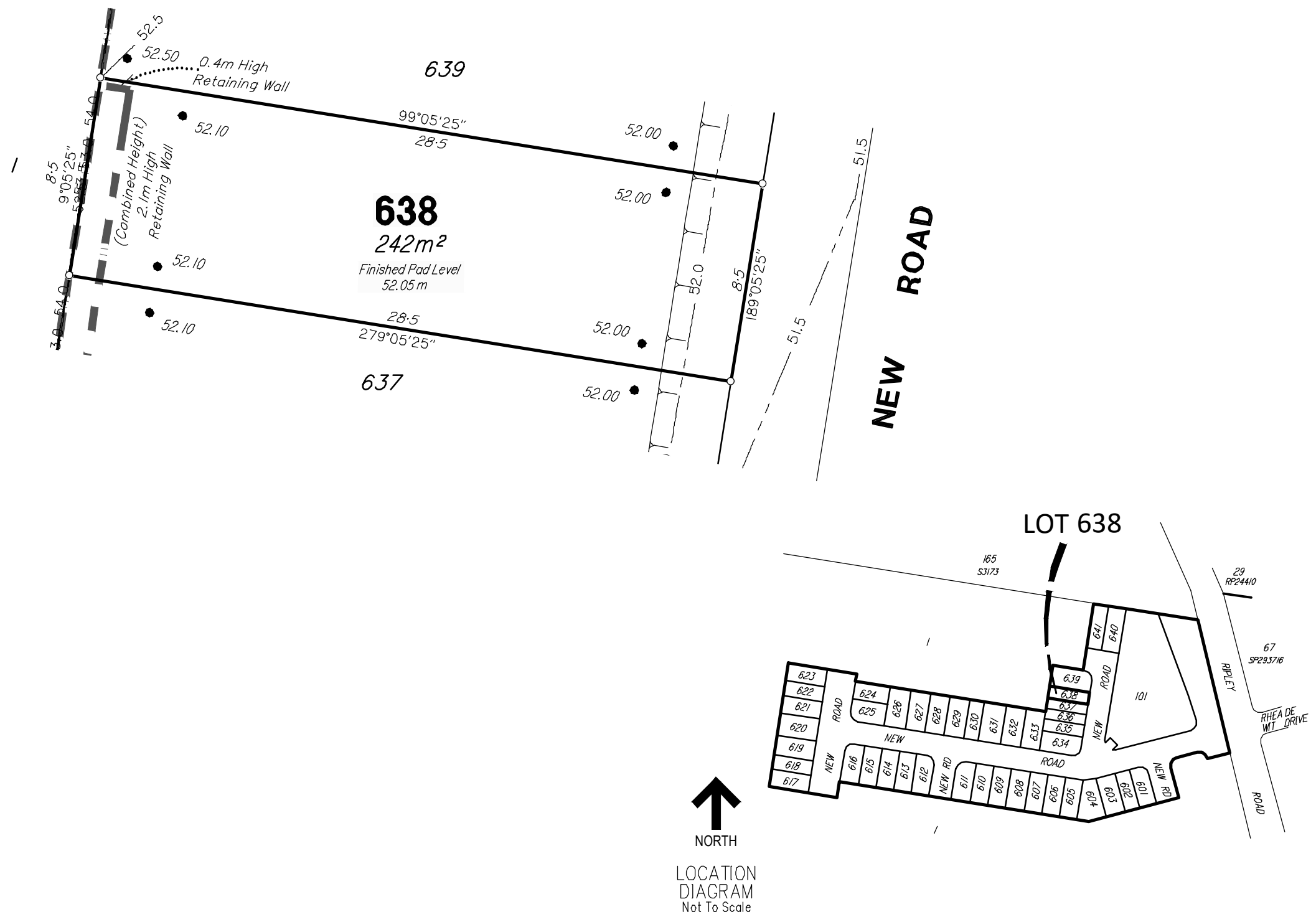
| ISSUES: |                        |          |       |
|---------|------------------------|----------|-------|
|         |                        |          |       |
|         |                        |          |       |
|         |                        |          |       |
| B       | ENGINEERING AMENDMENTS | 29-01-21 | DWW   |
| A       | ORIGINAL ISSUE         | 01-12-20 | RK    |
| ISSUE:  | DETAILS:               | DATE:    | INIT: |

TITLE:  
**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**RIPLEY ROAD, RIPLEY**

| DETAILS:                       |            |
|--------------------------------|------------|
| PROJECT:                       | PLAN: 37 B |
| SHEET:                         | 37 OF 41   |
| FILE:                          |            |
| B3742-37B_Stg 6 Disclosure.dwg |            |
| DATE:                          |            |
| 29th January 2021              |            |

IMPORTANT NOTES

- (1) This plan was produced for the exclusive use of SATTERLEY PROPERTY GROUP PTY LTD. It is to be used only for the purpose of Disclosure under the Land Sales Act (Qld).
- (2) This plan shows details of Proposed Allotment 638 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) There is no fill placed on this lot as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
- (9) These notes form an integral part of this plan. If others use this information, they should be advised of its purpose and limitations. This page must be reproduced in colour to be fully legible.
- (10) This plan may not be reproduced unless these notes are included.



CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>( as at the completion of the work ) |
|         | PROPOSED<br>RETAINING WALL                                |
|         | TOP<br>BATTER   |

BRISBANE - SUNSHINE COAST - CENTRAL QLD

BRISBANE - JFP House  
76 Ernest Street,  
South Brisbane, Qld. 4101  
TEL: 07 3012 0100 www.jfp.com.au

JFP URBAN CONSULTANTS PTY LTD ACN 050 414 045

PLANNERS

URBAN DESIGNERS

SURVEYORS

ENGINEERS

LANDSCAPE ARCHITECTS

NORTH:

SCALE:

SCALE: @ A3 1:200

ISSUES:

| NO. | DESCRIPTION            | DATE     | BY  |
|-----|------------------------|----------|-----|
| B   | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A   | ORIGINAL ISSUE         | 01-12-20 | RK  |

TITLE:

**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**RIPLEY ROAD, RIPLEY**

DETAILS:

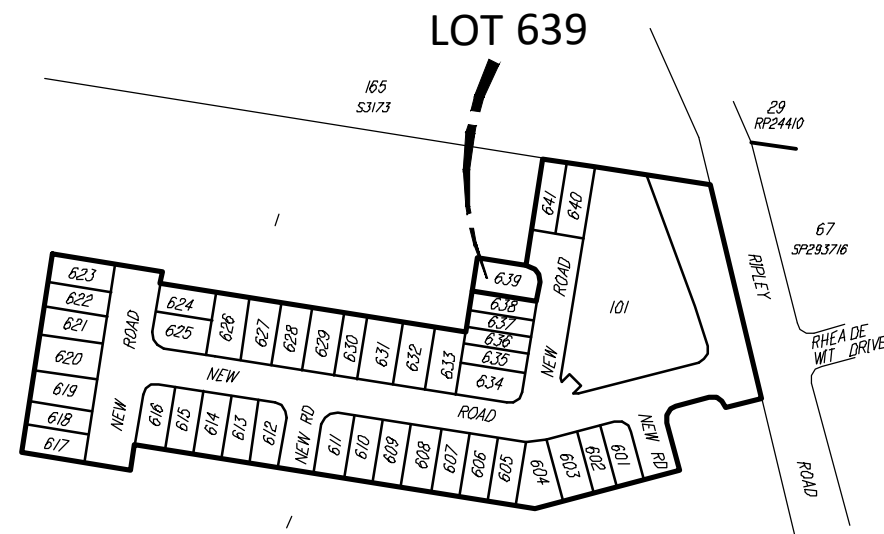
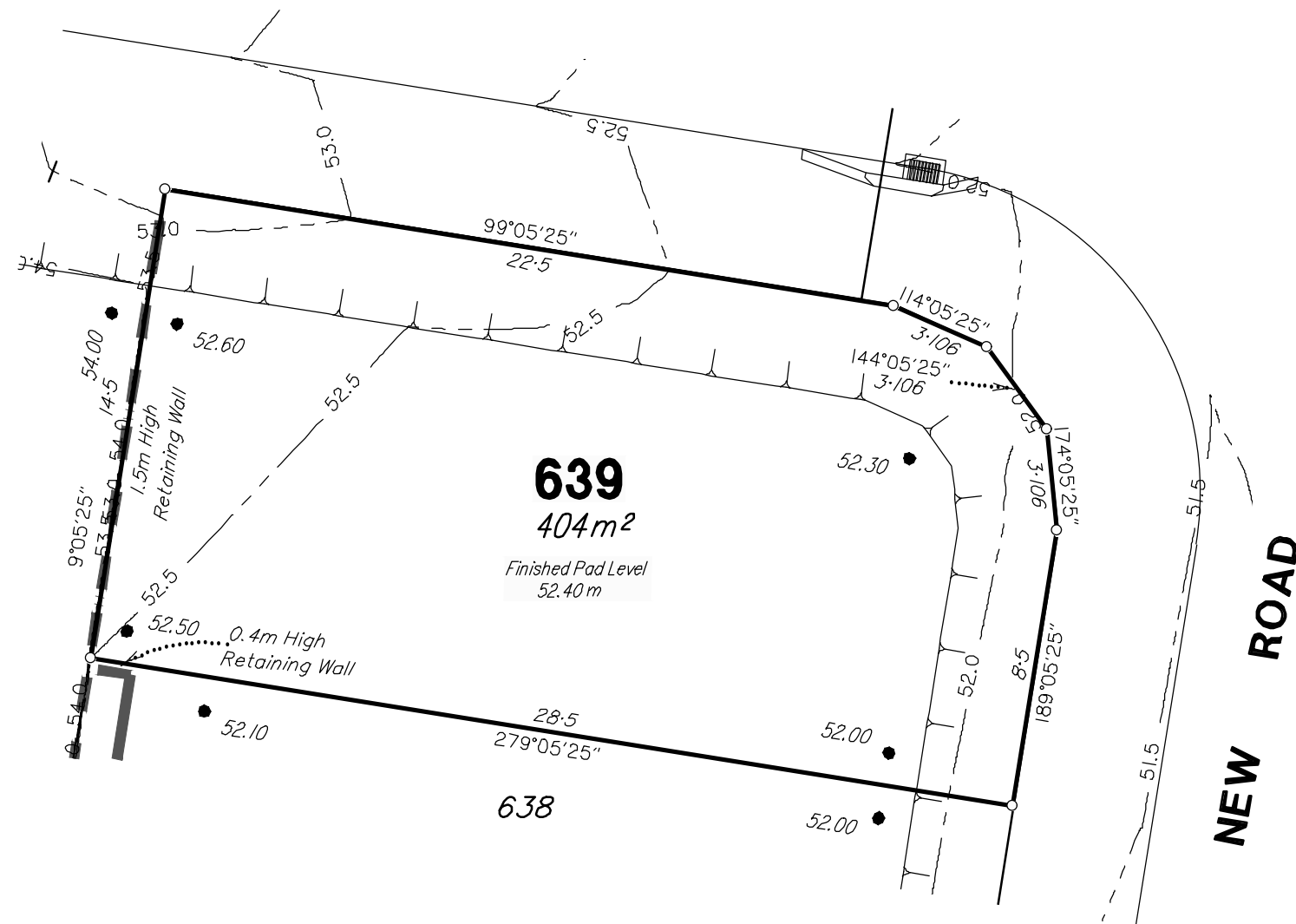
PROJECT: B3742S\_6

PLAN: 37 B

SHEET: 38 OF 41

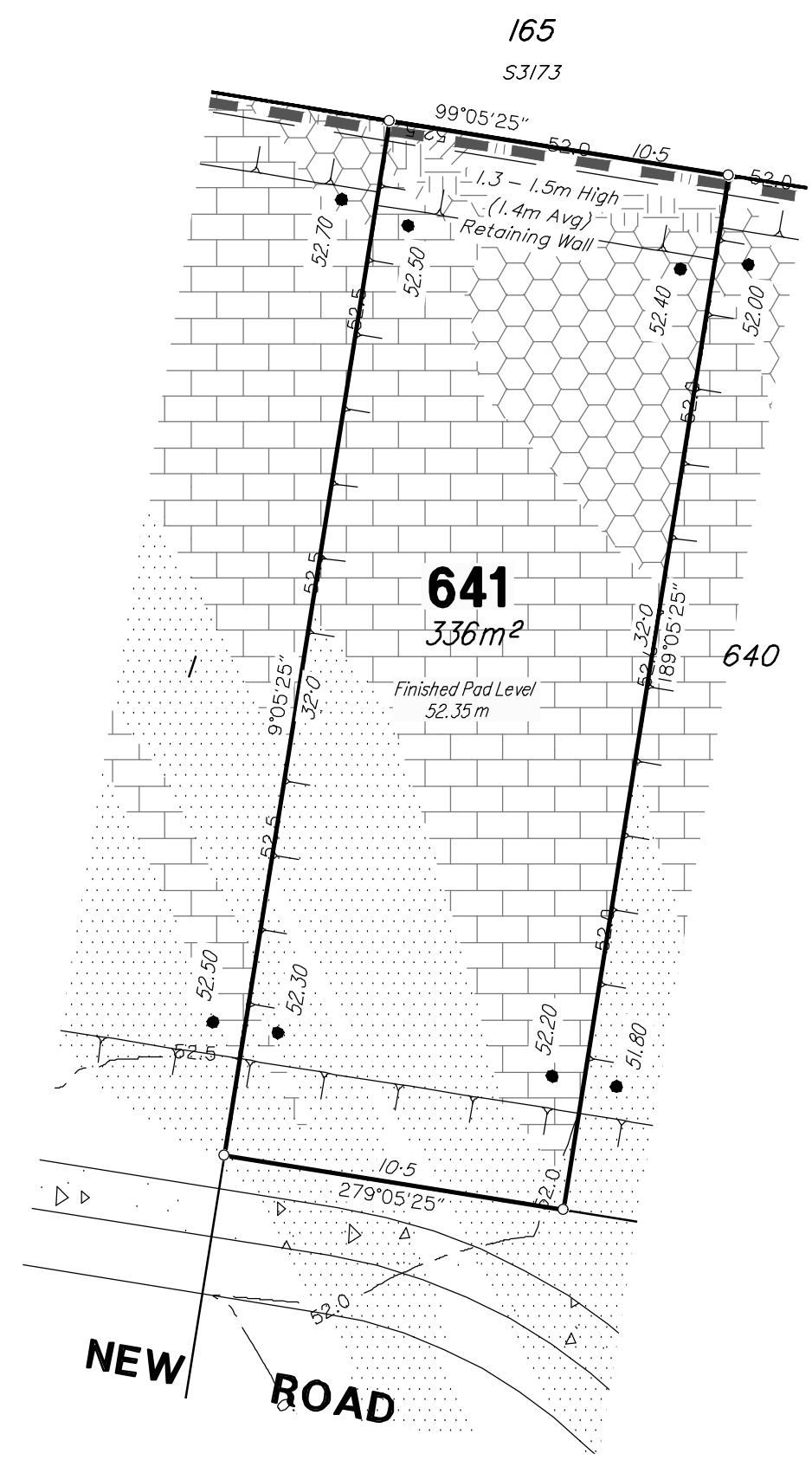
FILE: B3742-37B\_Stg 6 Disclosure.dwg

DATE: 29th January 2021

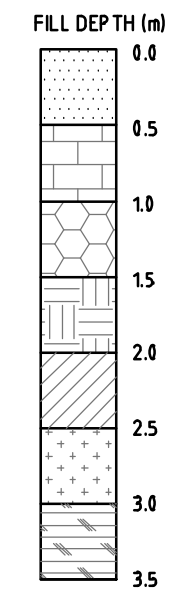






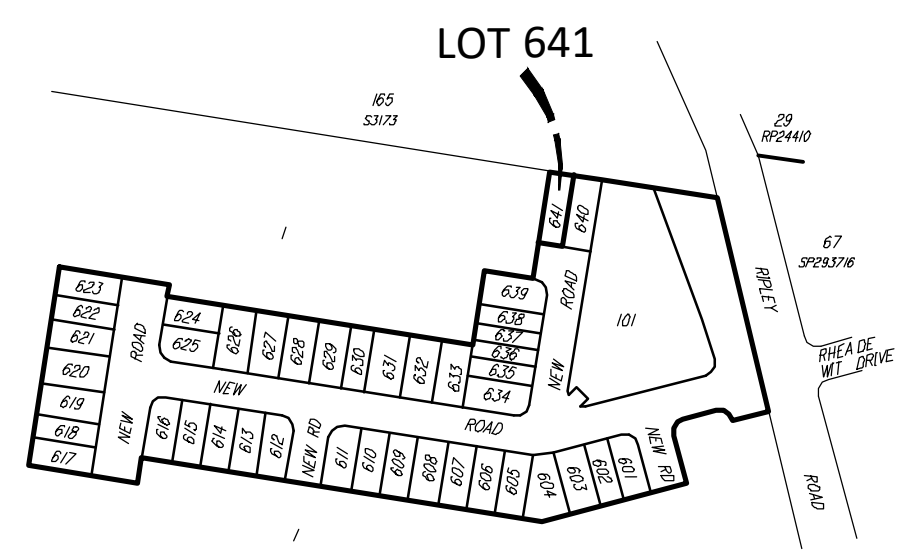


DESIGNED FILL DEPTHS



IMPORTANT NOTES

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- (2) This plan shows details of Proposed Allotment 641 as described as part of Lot 52 on SP265858 situated in the Locality of Ripley, Ipswich City Council.
- (3) All dimensions and areas are subject to final registration of the survey plan.
- (4) The compaction of the fill will be carried out in accordance with Australian Standard AS 3798-2007. Level 1 inspection and testing applies to all allotment fill placed as part of these works.
- (5) Purchasers should contact the local authority to verify levels and the location of services before submitting building plans for approval.
- (6) The subject site may be affected by building envelope requirements. Purchasers should refer to the Reconfiguration of a Lot and/or Material Change of Use approvals as applicable.
- (7) Engineering design received from PEAK URBAN on the 3rd December 2020.
- (8) Proposed Lot Layout taken from ROL plan B3742P\_DA6 D1 J dated 1st December 2020.
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NORTH  
LOCATION  
DIAGRAM  
Not To Scale

CONTOUR INTERVAL: 0.5m

| LEGEND: |   |
|---------|---|
|         | DESIGNED CONTOURS<br>(as at the completion of the work) |
|         | PROPOSED<br>RETAINING WALL                              |
|         | TOP<br>BATTER   |

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PLANNERS  
URBAN DESIGNERS  
SURVEYORS  
ENGINEERS  
LANDSCAPE ARCHITECTS

NORTH:

SCALE: @ A3 1:200  
0 2 4 6 8 10 12 14 metres  
SCALE 1:200 at (A3) size  
THIS SCALE SHOWN IS ORIGINAL DRAWING SCALE - (A3 SIZE)  
DO NOT SCALE FROM THIS DRAWING - USE ONLY DIMENSIONS PROVIDED - IF IN DOUBT PLEASE ENQUIRE

|          |     |          |     |             |                    |
|----------|-----|----------|-----|-------------|--------------------|
| SURVEYED | JFP | CHECKED  | RP  | DATUM       | AHD                |
| DRAWN    | RK  | APPROVED | MTF | ORIGIN (BM) | PM58130 RL 54.763m |

ISSUES:

|   |                        |          |     |
|---|------------------------|----------|-----|
| B | ENGINEERING AMENDMENTS | 29-01-21 | DWW |
| A | ORIGINAL ISSUE         | 01-12-20 | RK  |

ISSUE: DETAILS: DATE: INIT:

TITLE:

**DISCLOSURE PLAN**  
**SATTERLEY PROPERTY GROUP PTY LTD**  
**RIPLEY VALLEY-Stage 6**  
**459 - 489 RIPLEY ROAD, RIPLEY**

DETAILS:

PROJECT: B3742S\_6  
SHEET: 41 OF 41  
FILE: B3742-37B\_Stg 6 Disclosure.dwg  
DATE: 29th January 2021

PLAN: 37 B  
ISSUE: