
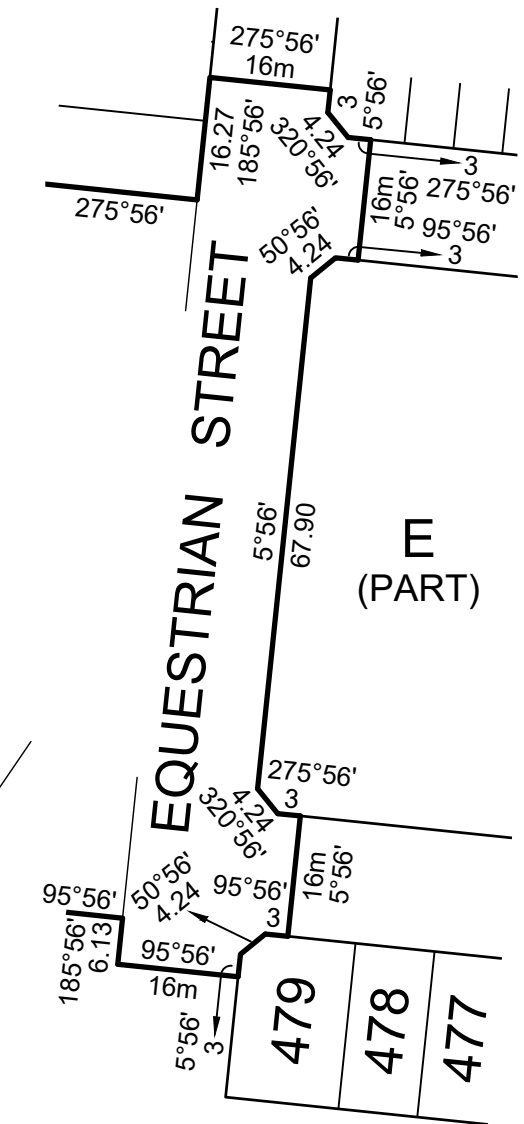
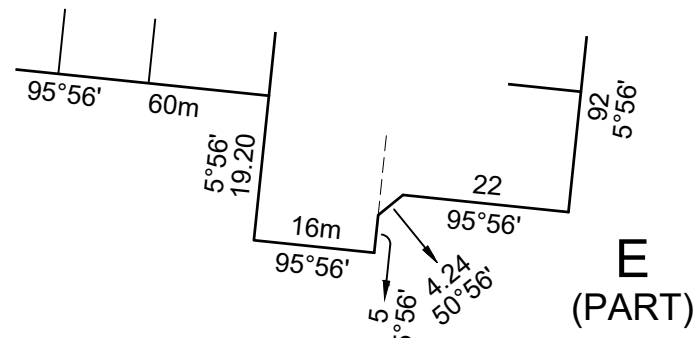
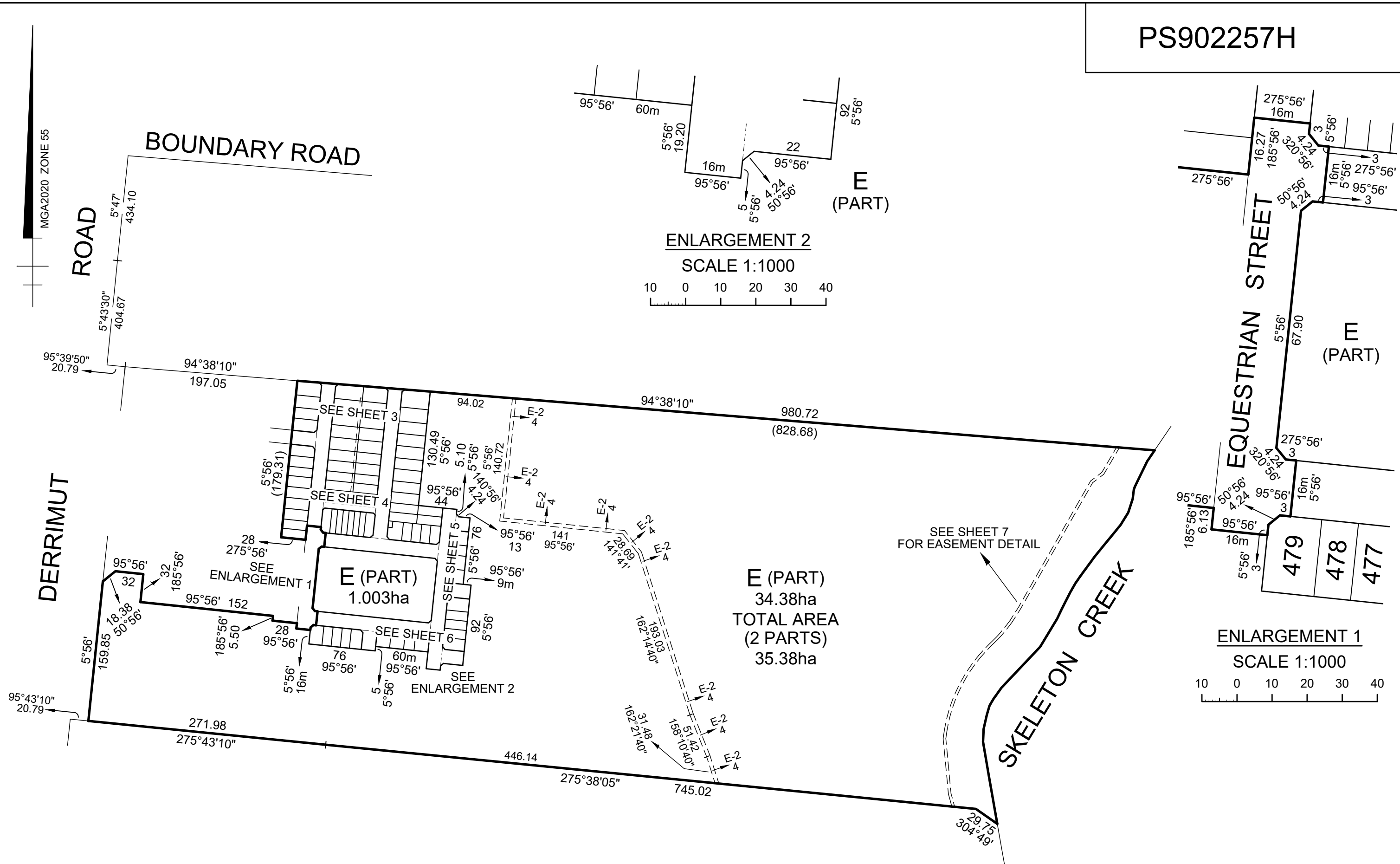
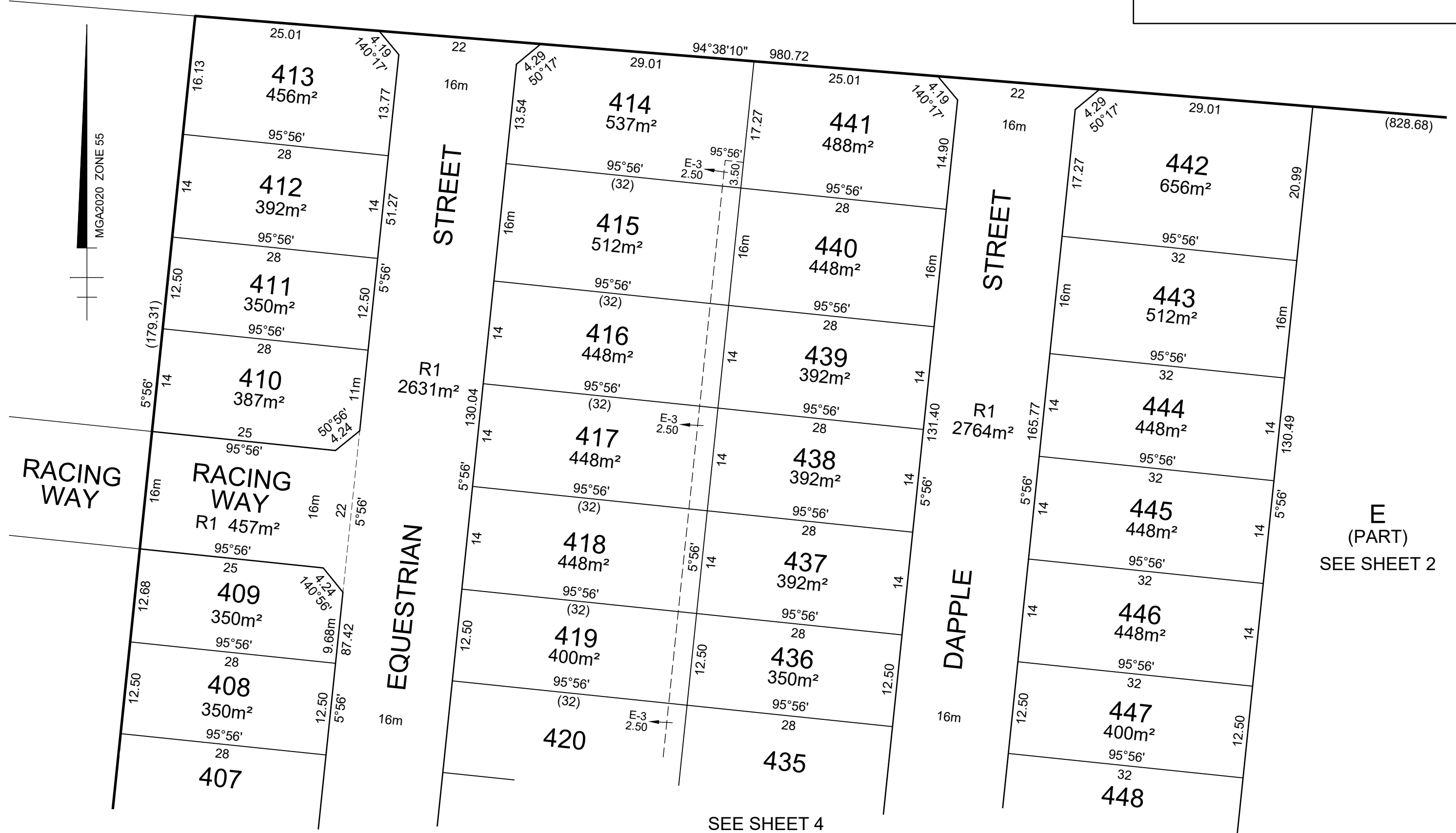


PLAN OF SUBDIVISION			EDITION 1	PS902257H
LOCATION OF LAND PARISH: TARNEIT TOWNSHIP: SECTION: 22 CROWN ALLOTMENT: CROWN PORTION: G TITLE REFERENCE: Vol. Fol. LAST PLAN REFERENCE: Lot D on PS902254P POSTAL ADDRESS: 800 Derrimut Road (at time of subdivision) TARNEIT VIC 3029 MGA 2020 CO-ORDINATES: E: 297 400 ZONE: 55 (of approx centre of land in plan) N: 5 812 300			COUNCIL NAME: WYNDHAM CITY COUNCIL	
VESTING OF ROADS AND/OR RESERVES			NOTATIONS	
IDENTIFIER	COUNCIL/BODY/PERSON		Lots 469 and 470 have been omitted from this plan. Lots 401 - 469 and 471 - 479 on this plan are affected by 3D Building Envelopes in MCP Dealing No. Refer to Creation of Restrictions A & B on sheets 8 & 9 of this plan for details.	
Road R1 Reserve No.1	Wyndham City Council Powercor Australia Ltd			
NOTATIONS				
DEPTH LIMITATION: Does Not Apply				
SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. WYP9879/17. This survey has been connected to Permanent Marks No(s) PM 90, PM 158 In Proclaimed Survey Area No. N/A				
BLUESTONE - Release No. 4 Area of Release: 4.065ha No. of Lots: 77 Lots & Balance Lot E				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Sewerage	3	PS848512S	Greater Western Water Corporation
E-2	Sewerage	4	AV212709Q	Greater Western Water Corporation
E-3	Sewerage	2.50	This Plan	Greater Western Water Corporation
 TAYLORS Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorstds.com.au		SURVEYORS FILE REF: Ref. 20457-S4 Ver. 6 Licensed Surveyor: MARK JAMES SOMMERVILLE / Version No 6		ORIGINAL SHEET SIZE: A3 SHEET 1 OF 9

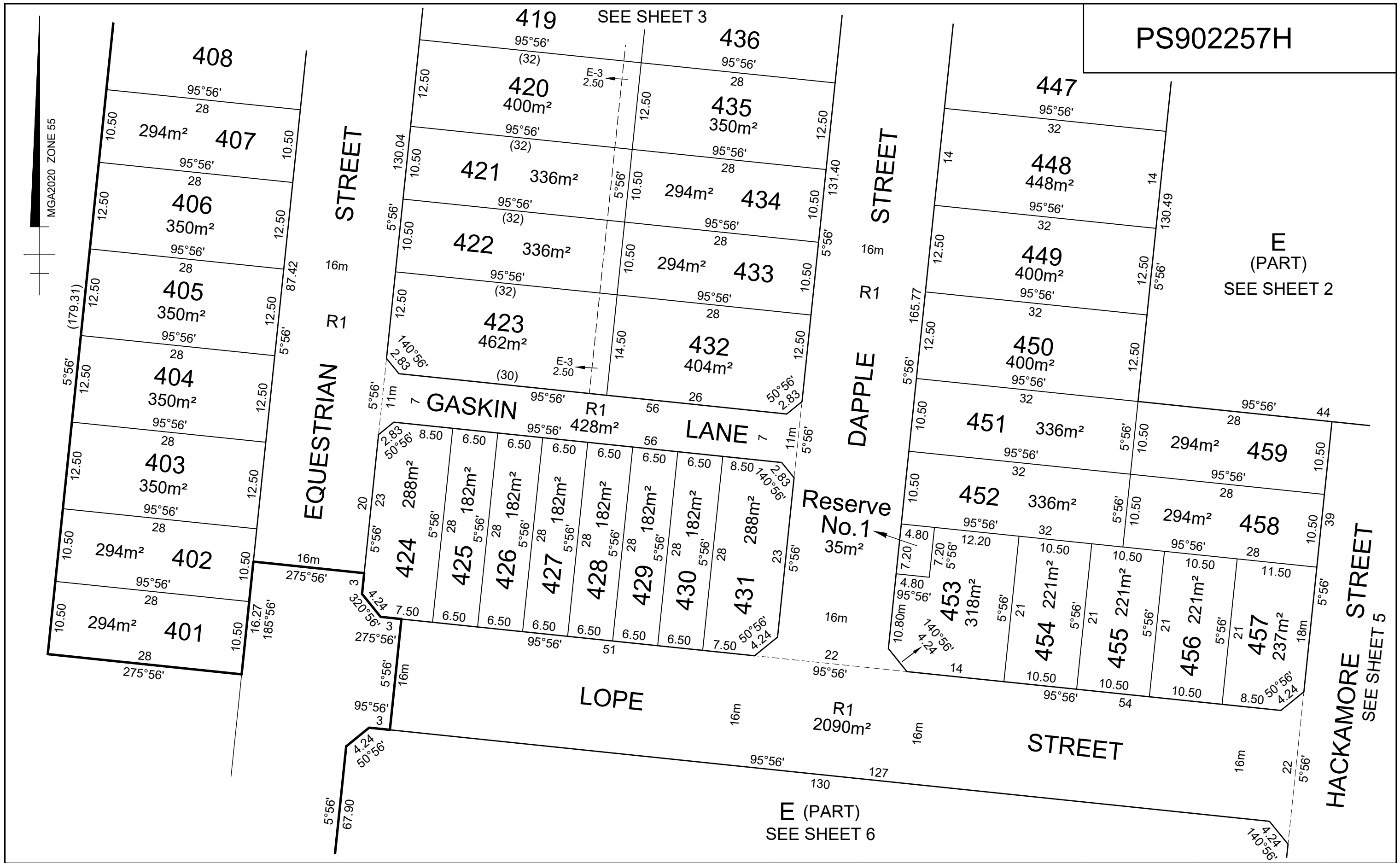


MGA2020 ZONE 55



E
(PART)
SEE SHEET 2

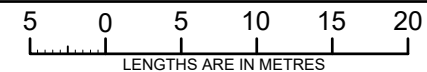
SEE SHEET 4



TAYLORS

Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorssds.com.au

SCALE
1:500



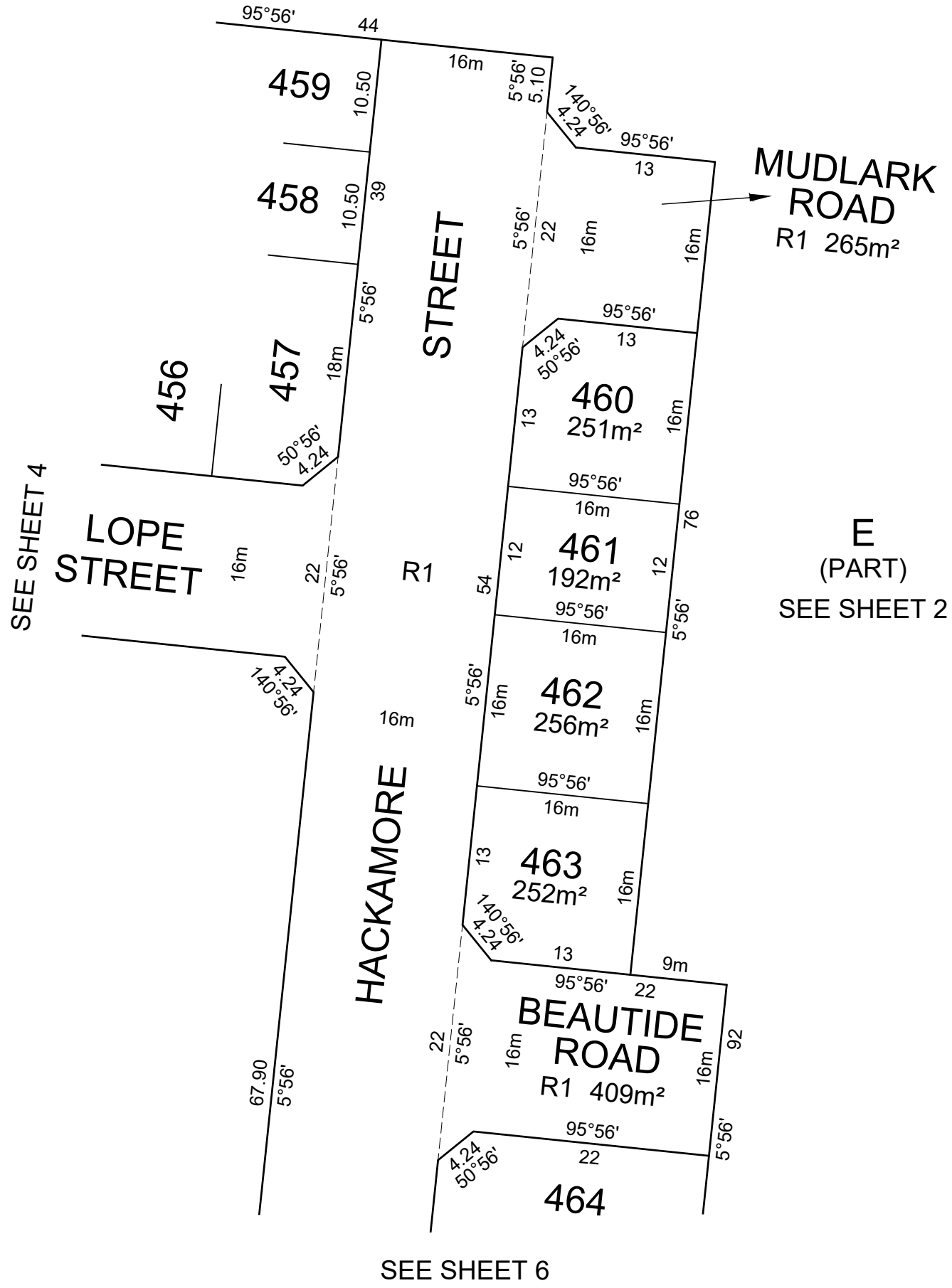
ORIGINAL SHEET
SIZE: A3

Ref. 20457-S4
Ver. 6

SHEET 4

Licensed Surveyor:

MARK JAMES SOMMERVILLE / Version No 6



SEE SHEET 4

SEE SHEET 5

E (PART)
1.003ha

E (PART)

SEE SHEET 2

EQUESTRIAN STREET

STREET

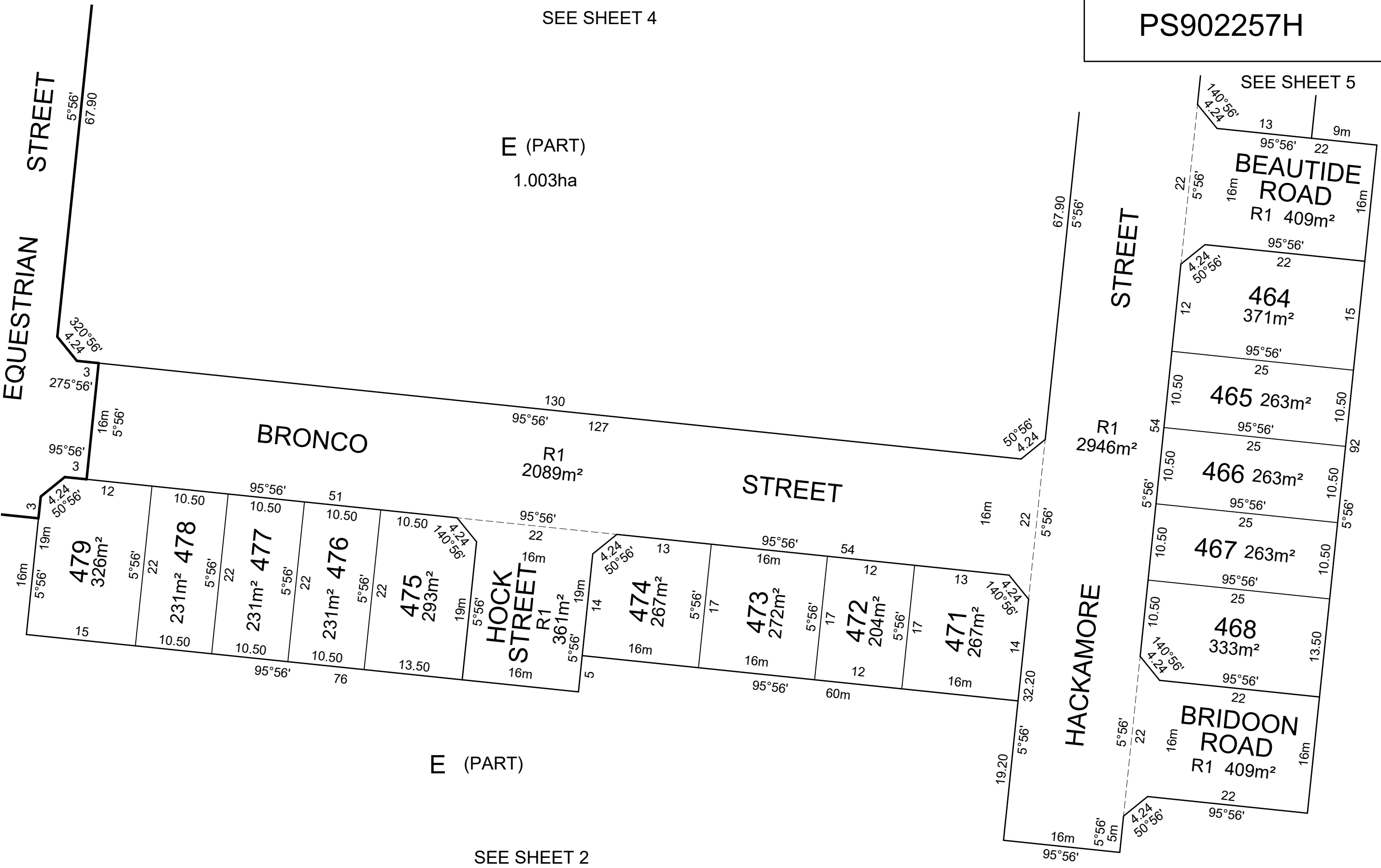
HACKAMORE STREET

BRONCO STREET

HOCK STREET

BEAUTIDE ROAD

BRIDDOON ROAD



TAYLORS
 Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorssds.com.au

SCALE 1:500
 5 0 5 10 15 20
 LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE: A3
 Ref. 20457-S4 Ver. 6
 SHEET 6

Licensed Surveyor:
MARK JAMES SOMMERVILLE / Version No 6

CREATION OF RESTRICTION A

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 1
 BENEFITED LAND: See Table 1

For the purposes of this Restriction:
 (a) A dwelling means a house.
 (b) A building means any structure except a fence.

DESCRIPTION OF RESTRICTION

Except with the written consent of Satterley Property Group, the registered proprietor or proprietors for the time being of any burdened Lot must not:

Design Guidelines and MCP

1. Build or allow to be built on the Lot any building other than a building which has been approved by Satterley Property Group or the Bluestone Design Review Panel in accordance with the Bluestone Design Guidelines.
2. Build or allow to be built on the Lot any building other than a building which has been constructed in accordance with the endorsed Memorandum of Common Provisions (MCP) registered in Dealing Number....., which MCP is incorporated into this Restriction.

Building Envelopes

3. Build or allow to be built on the Lot any building other than in accordance with the building envelope plans shown on the endorsed Memorandum of Common Provisions (MCP) registered in Dealing Number....., which MCP is incorporated into this Restriction.

For the purposes of this restriction "Satterley Property Group" means Satterley Tarneit Derrimut Pty Ltd ACN 630 346 066 or any or its related bodies corporate or associated entities within the meaning of the Corporations Act 2001.

Expiry date: 31/12/2030

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
401	402
402	401, 403
403	402, 404
404	403, 405
405	404, 406
406	405, 407
407	406, 408
408	407, 409
409	408
410	411
411	410, 412
412	411, 413
413	412
414	415, 441
415	414, 416, 440
416	415, 417, 439
417	416, 418, 438
418	417, 419, 437
419	418, 420, 436
420	419, 421, 435
421	420, 422, 434
422	421, 423, 433
423	422, 432
424	425
425	424, 426
426	425, 427

TABLE 1 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
427	426, 428
428	427, 429
429	428, 430
430	429, 431
431	430
432	423, 433
433	422, 432, 434
434	421, 433, 435
435	420, 434, 436
436	419, 435, 437
437	418, 436, 438
438	417, 437, 439
439	416, 438, 440
440	415, 439, 441
441	414, 440
442	443
443	442, 444
444	443, 445
445	444, 446
446	445, 447
447	446, 448
448	447, 449
449	448, 450
450	449, 451
451	450, 452, 459
452	451, 453, 454, 455, 458

TABLE 1 continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
453	452, 454
454	452, 453, 455
455	452, 454, 456, 458
456	455, 457, 458
457	456, 458
458	452, 455, 456, 457, 459
459	451, 458
460	461
461	460, 462
462	461, 463
463	462
464	465
465	464, 466
466	465, 467
467	466, 468
468	467
471	472
472	471, 473
473	472, 474
474	473
475	476
476	475, 477
477	476, 478
478	477, 479
479	478



Urban Development | Built Environments | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorss.com.au

Licensed Surveyor:

MARK JAMES SOMMERVILLE / Version No 6

ORIGINAL SHEET
 SIZE: A3

Ref. 20457-S4
 Ver. 6

SHEET 8

CREATION OF RESTRICTION B

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 2
 BENEFITED LAND: See Table 2

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot must not:

Build or permit to be built or remain on the lot any building or structure that has not been constructed in accordance with the relevant below mentioned type of the Small Lot Housing Code (SLHC) incorporated into the Wyndham Planning scheme unless a planning permit is granted by the Responsible Authority for a building that does not conform with the SLHC.

Expiry date: 31/12/2030

TABLE 2

BURDENED LOT No.	SLHC TYPE	BENEFITING LOTS ON THIS PLAN
401	A	402
402	A	401, 403
407	A	406, 408
424	B	425
425	B	424, 426
426	B	425, 427
427	B	426, 428
428	B	427, 429
429	B	428, 430
430	B	429, 431
431	B	430
433	A	422, 432, 434
434	A	421, 433, 435
454	B	452, 453, 455
455	B	452, 454, 456, 458
456	B	455, 457, 458
457	B	456, 458

TABLE 2 continued

BURDENED LOT No.	SLHC TYPE	BENEFITING LOTS ON THIS PLAN
458	A	452, 455, 456, 457, 459
459	A	451, 458
460	B	461
461	B	460, 462
462	B	461, 463
463	B	462
465	B	464, 466
466	B	465, 467
467	B	466, 468
471	B	472
472	B	471, 473
473	B	472, 474
474	B	473
475	B	476
476	B	475, 477
477	B	476, 478
478	B	477, 479